



— TOWNSHIP OF —  
ASHFIELD - COLBORNE - WAWANOSH

## **Council Agenda**

### **June 2, 2020**

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Township of Ashfield-Colborne-Wawanosh Council will meet in regular session on the 2<sup>nd</sup> day of June 2020, at 9:00 a.m. through Zoom, a Video Conferencing Platform.

This meeting is being held electronically as the crisis of COVID-19 allows Councils to conduct their meetings remotely to empower municipalities to respond quickly and continue to function when in-person meetings cannot be held, and Council decisions need to be made.

#### **1.0 CALL TO ORDER**

Video/Audio Approval – if applicable

#### **2.0 DISCLOSURE OF PECUNIARY INTEREST / POTENTIAL CONFLICT OF INTEREST**

#### **3.0 ADOPTION OF PREVIOUS MEETING MINUTES**

##### **3.1 Council Meeting Minutes – May 19, 2020**

Moved by  
Seconded by

ADOPT  
COUNCIL  
MINUTES

THAT Ashfield-Colborne-Wawanosh Township Council hereby adopts the  
May 19, 2020 Council Meeting Minutes as written.

##### **3.2 Council Meeting Minutes – May 26, 2020**

Moved by  
Seconded by

ADOPT  
COUNCIL  
MINUTES

THAT Ashfield-Colborne-Wawanosh Township Council hereby adopts the  
May 26, 2020 Council Meeting Minutes as written.

#### **4.0 OPEN FORUM (items pertaining to the agenda)**

**5.0 DELEGATIONS**

5.1 9:00 a.m. - Celina Whaling-Rae / County of Huron Planner – Committee of Adjustment

Moved by  
Seconded by

OPEN  
COMMITTEE  
OF  
ADJUSTMENT  
MEETING

THAT Ashfield-Colborne-Wawanosh Council hereby adjourns their regular Council Meeting and hereby opens their Committee of Adjustment Meeting and Hearing to review the Victor Kreft and the Township of Ashfield-Colborne-Wawanosh Minor Variance Applications.

A) Victor Kreft – Minor Variance Application File - #MV04-20

We have provided Council with a copy of the report prepared by the County Planner, Celina Whaling-Rae, in regards to this application. Ms. Whaling-Rae will review the application with the Committee of Adjustment.

STAFF COMMENTS: That this application for minor variance be approved subject to the following conditions:

- That the structures be located within the footprint contained on the site plan that accompanied the application.
- That the structures be constructed as shown in the elevation drawing that accompanied the application.
- That the variances' approval be valid for a period of 18 months from the date of the Committee's decision.

**PUBLIC COMMENTS:**

**APPLICANT COMMENTS:**

Moved by  
Seconded by

APPROVE  
KREFT  
APPLICATION

THAT Ashfield-Colborne-Wawanosh Committee of Adjustment hereby agrees to approve the Victor Kreft Minor Variance Application as submitted, subject to the conditions as noted in the Planner's Report.

**Effect of Public and Agency Comments on Decision of Council to the Application**

B) Ashfield-Colborne-Wawanosh - Minor Variance Application File - #MV05-20

We have provided Council with a copy of the report prepared by the County Planner, Celina Whaling-Rae, in regards to this application. Ms. Whaling-Rae will review the application with the Committee of Adjustment.

STAFF COMMENTS: That this application for minor variance be approved subject to the following conditions:

- That the structure be located within the footprint contained on the site plan that accompanied the application.
- That the structure be constructed as shown in the elevation drawing that accompanied the application.
- That the variances' approval be valid for a period of 18 months from the date of the Committee's decision.

**PUBLIC COMMENTS:**

**APPLICANT COMMENTS:**

Moved by  
Seconded by

APPROVE  
ACW  
APPLICATION

THAT Ashfield-Colborne-Wawanosh Committee of Adjustment hereby agrees to approve the Township of Ashfield-Colborne-Wawanosh Minor Variance Application as submitted, subject to the conditions as noted in the Planner's Report.

**Effect of Public and Agency Comments on Decision of Council to the Application**

Moved by  
Seconded by

CLOSE  
COMMITTEE  
OF  
ADJUSTMENT

THAT Ashfield-Colborne-Wawanosh Committee of Adjustment hereby closes their meeting.

Moved by  
Seconded by

RECONVENE  
REGULAR  
COUNCIL  
MEETING

THAT Ashfield-Colborne-Wawanosh Township Council hereby reconvenes the regular Council Meeting of June 2, 2020.

## **6.0 ACCOUNTS**

No items scheduled.

## **7.0 DEPARTMENT / COMMITTEE REPORTS**

### **7.1 Water Department**

No items scheduled.

### **7.2 Building Department**

No items scheduled.

### **7.3 Cemetery Department**

No items scheduled.

### **7.4 Drainage Department**

No items scheduled.

### **7.5 Administration Department**

#### 7.5.1 Administration Staff

Please refer to the "In-Camera Session" (personal matters related to employees and identifiable individual)

#### 7.5.2 St. Helens Community Hall Request – Cenotaph Repairs

We have provided Council with a copy of the request for repairs to the Cenotaph, Stone Pillar, and the back foundation of the Hall. We have also provided Council with a copy of the quote received.

STAFF COMMENTS: We seek your direction.

### **7.6 Public Works Department**

#### 7.6.1 Public Works Activity Report

We have provided Council with a copy of the report prepared by Public Works Superintendent Brian Van Osch. Mr. Van Osch will be available this morning.

STAFF COMMENTS: For your information purposes.

#### 7.6.2 Benmiller Sign – Update

Councillor Gloria Fisher indicated that she is confident that they would be able to form a committee of volunteers to look after the care and maintenance of the Benmiller sign. Confirming ownership of the lands would be costly and redundant, however if Council wishes to proceed, staff would obtain the permission to perform the work from the County Highway Department and permission from the Mr. Culbert (the landowner) as the only way to access to the sign is through the Culbert property. What type of budget amount would Council like to allocate towards this project?

STAFF COMMENTS: We seek your direction.

**7.7 Environmental Services**

7.7.1 Ashfield Landfill Site / Re-opening & Potential Changes

We have provided Council with a copy of the update on the re-opening of the Ashfield Landfill Site along with a staff report on potential changes for Council to consider moving forward as to how we do business in the future at the Landfill Site.

STAFF COMMENTS: We seek your direction.

**7.8 Committee Reports**

**8.0 NEW BUSINESS**

No items scheduled.

**9.0 CORRESPONDENCE / DIRECTION REQUIRED**

No items scheduled.

**10.0 CORRESPONDENCE / FOR INFORMATION PURPOSES**

No items scheduled.

**11.0 CORRESPONDENCE / ON COUNCIL TABLE**

No items scheduled.

**12.0 UNFINISHED BUSINESS**

12.1 Council Meeting - Official Plan Preliminary Review

Tuesday, June 9<sup>th</sup> at 9:00 a.m.

STAFF COMMENTS: Reminder only.

12.2 Association of Municipalities of Ontario (AMO) Annual Conference – August 16-19<sup>th</sup> 2020

Councillors Fisher and Miltenburg participating virtually.

STAFF COMMENTS: Reminder only.

12.3 Lake Huron Conference – Is the Coast Clear? – September 2-3<sup>rd</sup> 2020

Mayor McNeil and Deputy Mayor Watt attending.

STAFF COMMENTS: Reminder only.

*Since the Council Meeting is being held electronically through Zoom, a Video Conferencing Platform, Staff would ask that Council now proceed to Section 14 and adopt the by-laws prior to moving into an "In-Camera Session". This will allow the public*

*participants an opportunity to be present during the adoption of the by-laws. Once the by-laws have been adopted, Council would then proceed to Section 13 and move into the "In-Camera Session". The public participants will not need to re-join as the meeting will be adjourned after the closed session.*

**13.0 IN-CAMERA / CLOSED SESSION**

Moved by  
Seconded by

MOVE TO  
IN-CAMERA

THAT Ashfield-Colborne-Wawanosh Township Council move into an "In-Camera" session, with the CAO/Deputy-Clerk and the Treasurer remaining in attendance at \_\_\_\_\_ a.m. for the purpose of discussing:

- 1) Personal matters related to employees and identifiable individual.

~

**13.1 RETURN TO OPEN SESSION**

Moved by  
Seconded by

RISE FROM  
IN-CAMERA

THAT Ashfield-Colborne-Wawanosh Township Council rise from an "In-Camera" session at \_\_\_\_\_ a.m.

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**13.2 BUSINESS ARISING FROM IN-CAMERA / CLOSED SESSION**

**14.0 BY-LAWS**

**14.1 Confirmation By-Law**

Moved by  
Seconded by

CONFIRMAT  
ION BY-LAW

THAT leave be given to introduce By-Law #38-2020 being a by-law to confirm the proceedings of the Township of Ashfield-Colborne-Wawanosh meeting held on June 2, 2020, and that it now be read severally a first, second, and third time, and finally passed this 2<sup>nd</sup> day of June 2020.

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**15.0 ADJOURNMENT**

Moved by  
Seconded by

ADJOURN

THAT Ashfield-Colborne-Wawanosh Township Council does now adjourn to meet again on June 9, 2020 at 9:00 a.m. or at the Call of the Mayor.

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## Council Minutes May 19, 2020

Township of Ashfield-Colborne-Wawanosh Council met in regular session on the 19<sup>th</sup> day of May 2020, at 9:00 a.m. through Zoom, a Video Conferencing Platform.

This meeting was held electronically as the crisis of COVID-19 allows Councils to conduct their meetings remotely to empower municipalities to respond quickly and continue to function when in-person meetings cannot be held, and Council decisions need to be made.

The following individuals were participants during the Council Meeting:

Mayor  
Deputy Mayor  
Councillors

Glen McNeil  
Roger Watt  
Gloria Fisher  
Wayne Forster  
Jennifer Miltenburg  
Anita Snobelen  
Bill Vanstone

**Staff Present**

CAO/Clerk-Treasurer  
Deputy Treasurer  
Chief Building Official  
Public Works Superintendent  
Deputy Clerk

Mark Becker  
Ellen McManus  
Brett Pollock  
Brian Van Osch  
Florence Witherspoon

County of Huron Planner

Celina Whaling-Rae

B.M. Ross & Associates

Bruce Potter

OTHERS PRESENT VIA ZOOM (Viewing and Observing Only):  
Michael Gubesch, Lori Stephens, and Anita Frayne.

**1.0 CALL TO ORDER**

The municipality will be recording this meeting to “ensure meetings can be open to the public”.

**2.0 DISCLOSURE OF PECUNIARY INTEREST / POTENTIAL CONFLICT OF INTEREST**

None disclosed.

**3.0 ADOPTION OF PREVIOUS MEETING MINUTES**

Moved by Vanstone  
Seconded by Snobelen

ADOPT  
COUNCIL  
MINUTES

#1

THAT Ashfield-Colborne-Wawanosh Township Council hereby adopts the May 5, 2020 Council Meeting Minutes as written.

Carried.

**4.0 OPEN FORUM (items pertaining to the agenda)**

None.

## 5.0 **DELEGATIONS**

5.1 9:00 a.m. - Celina Whaling-Rae / County of Huron Planner – Committee of Adjustment

John Hulley - Minor Variance Application File - #MV03/20

Moved by Miltenburg  
Seconded by Forster

OPEN COMMITTEE OF ADJUSTMENT MEETING #2 THAT Ashfield-Colborne-Wawanosh Council hereby adjourns their regular Council Meeting and hereby opens their Committee of Adjustment Meeting and Hearing to review the John Hulley Minor Variance Application. Carried.

We have provided Council with a copy of the report prepared by the County Planner, Celina Whaling-Rae, in regards to this application. Ms. Whaling-Rae reviewed the application with the Committee of Adjustment.

STAFF COMMENTS: That this application for minor variance be approved subject to the following conditions:

- That the structure be located within the footprint contained on the site plan that accompanied the application.
- That the structure be constructed as shown in the elevation drawing that accompanied the application.
- That the variances' approval be valid for a period of 18 months from the date of the Committee's decision.

### **PUBLIC COMMENTS:**

None.

### **APPLICANT COMMENTS:**

None.

ACTION: The Committee of Adjustment agreed to adopt the following resolution.

Moved by Fisher  
Seconded by Forster

APPROVE HULLEY APPLICATION #3 THAT Ashfield-Colborne-Wawanosh Committee of Adjustment hereby agrees to approve the John Hulley Minor Variance Application as submitted, subject to the conditions as noted in the Planner's Report. Carried.

### **Effect of Public and Agency Comments on Decision of Council to the Application**

No public comments were received on this application so there was no effect on the decision.

No agency comments were received on this application so there was no effect on the decision.

Moved by Miltenburg  
Seconded by Vanstone

CLOSE COMMITTEE OF ADJUSTMENT #4 THAT Ashfield-Colborne-Wawanosh Committee of Adjustment hereby closes their meeting. Carried.

Moved by Snobelen  
Seconded by Fisher

RECONVENCE REGULAR COUNCIL MEETING #5 THAT Ashfield-Colborne-Wawanosh Township Council hereby reconvenes the regular Council Meeting of May 19, 2020. Carried.



## 5.2 9:15 a.m. – Michael Gubesch / Nine Mile Enterprises Inc. – Port Albert Development

We have provided Council with a copy of the request received from Michael Gubesch / Nine Mile Enterprises Inc. along with a copy of the staff report. Mr. Gubesch has requested to address Council this morning with respect to his request.

Mr. Gubesch addressed Council on this matter.

Bruce Potter of B.M. Ross & Associates addressed Council on this matter as a municipal engineer along with staff who prepared the Staff Report.

STAFF COMMENTS: We seek your direction.

ACTION: Council agreed to adopt the following resolution.

Moved by Miltenburg  
Seconded by Watt

NINE MILE #6  
ENTERPRISE  
S INC.

THAT Ashfield-Colborne-Wawanosh Township Council hereby supports Option #1 of this staff report and direct staff to proceed with determining and drafting the necessary by-laws and agreements as well as preliminary cost estimates and to consult with impacted property owners with the intention of using by-laws regarding special services in the Municipal Act, 2001, Section 326.

Carried.

## 6.0 ACCOUNTS

### 6.1 Payment of Current Accounts as Presented

Moved by Forster  
Seconded by Snobelen

APPROVE #7  
ACCOUNTS

THAT Ashfield-Colborne-Wawanosh Township Council hereby authorizes the payment of the May 2020 accounts as presented.

Carried.

### 6.2 Payment of Previous Month Actual Accounts

Moved by Forster  
Seconded by Vanstone

APPROVE #8  
ACTUAL  
PAYMENTS

THAT Ashfield-Colborne-Wawanosh Township Council hereby approves the payment of the April 2020 accounts in the amount of \$ 486,283.55.

Carried.

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### 6.3 Summary Revenue/Expenditure Reports

Reports for the Township, Lucknow & District Fire Department, Lucknow & District Medical Centre, and Lucknow & District Recreation from January to April 2020.

Moved by Vanstone  
Seconded by Watt

REVENUE #9  
EXPEND-  
ITURE  
REPORT

THAT Ashfield-Colborne-Wawanosh Township Council adopts the summary revenue/expenditure reports of the Treasurer as written.

Carried.

## 7.0 DEPARTMENT / COMMITTEE REPORTS

### 7.1 Water Department

#### 7.1.1 Water Operations & Maintenance Report – April 2020

We have provided Council with a copy of the report prepared by Veolia Water Canada in regards to the operation and maintenance of our water systems for April 2020.

STAFF COMMENTS: For your information purposes.

ACTION: Noted and filed.

## **7.2 Building Department**

### 7.2.1 Chief Building Official's Report

We have provided Council with a copy of Mr. Pollock's report. Mr. Pollock was available this morning.

STAFF COMMENTS: For your information purposes.

ACTION: Noted and filed.

## **7.3 Cemetery Department**

No items scheduled.

## **7.4 Drainage Department**

No items scheduled.

## **7.5 Administration Department**

### 7.5.1 Administrative Staff Position Title Change By-Law

As a follow-up from the last "In-Camera Session", we have provided Council with a copy of the by-law which changes the titles of three of the Administrative Staff Position Titles for the Township of Ashfield-Colborne-Wawanosh which better reflects the actual responsibilities of the jobs. This also supports the municipalities succession planning and ensures that we retain the staff we have to move the municipality forward.

STAFF COMMENTS: That Council adopts the by-law as presented in Section 14.

ACTION: Council agreed to adopt the by-law as presented in Section 14.

### 7.5.2 Enbridge - Expression of Support for Natural Gas Expansion

We have provided Council with a copy of the letter from Enbridge, and a sample letter of support for Natural Gas Expansion. Enbridge are interested in further expanding into the Benmiller, Dungannon, and Port Albert Area. If Council supports their project proposal of expanding into these additional areas, we could have the "sample letter of support" sent with Mayor Glen McNeil signing on behalf of municipality.

STAFF COMMENTS: We seek your direction.

ACTION: Council agreed to have the Mayor send a letter of support for their projects.

### 7.5.3 EPCOR - Expression of Support for Natural Gas Expansion

We have provided Council with a copy of the letter from EPCOR, and a sample letter of support for Natural Gas Expansion. EPCOR are interested in expanding into the northern part of the municipality. If Council supports their project proposal of expanding, we could have the "sample letter of support" sent with Mayor Glen McNeil signing on behalf of municipality.

STAFF COMMENTS: We seek your direction.

ACTION: Council agreed to have the Mayor send a letter of support for their projects

### 7.5.4 Municipal Office Addition / Renovation – Update

We have provided a copy of the brief update from Alan Avis Architects Inc. with respect to the status of the Municipal Office Addition / Renovation along with a copy of the two exterior views of the proposed building.

STAFF COMMENTS: For your information purposes.

ACTION: Noted and file.

### 7.5.5 By-Law Enforcement Officer Report

We have provided Council with a copy of the report prepared by Bruce Brockelbank.

STAFF COMMENTS: For your information purposes.

ACTION: Noted and filed.

## **7.6 Public Works Department**

### **7.6.1 Benmiller Sign**

Councillor Gloria Fisher has requested that this item be added to the agenda for discussion. We have provided Council with a copy of the sign. Councillor Fisher indicated that the sign has fallen into disrepair. The sign is either on the property owners land or on the County of Huron Road Allowance. Staff reached out to Councillor Bill Vanstone as he has lived in the area all his life. Councillor Vanstone, as staff understood from our discussion, indicated that the landowners at the time of the installation of the sign worked in conjunction with the members of the community to construct the sign.

Staff suggest that this could be an initiative of the Benmiller Community Hall Committee and see if they'd be interested in spear-heading a volunteer community group who would take care of the sign this year and in the years to follow. The Benmiller Community Hall Committee could ask for permission from the landowner and the County and ask some locals who may be interested in taking care of it, and Council could then allocate some dollars towards the care and maintenance of the sign.

STAFF COMMENTS: We seek your direction.

ACTION: Council agreed to have staff reach out to the Benmiller Community Hall Committee to see if there is interest in the group establishing a Community Committee to look after the maintenance and upkeep of the Benmiller Sign.

The Benmiller Community Hall Committee will advise staff and will bring back to Council their decision. If receptive Council will then allocate some type of Budget they would allocate towards the care and maintenance of the sign.

If receptive, staff would reach out to the owner of the property behind the sign as well as the County of Huron to receive authorization to access to the sign for care and maintenance.

### **7.6.2 Road Allowances / Additional Lands**

Please refer to the "In-Camera Session" (proposed acquisition of land by the municipality)

## **7.7 Environmental Services**

No items scheduled.

## **7.8 Committee Reports**

Councillor Miltenburg reported on the Dungannon Community Alliance Committee.

Mayor McNeil reported on the Ashfield Colborne Lakefront Association Meeting which he participated.

## **8.0 NEW BUSINESS**

No items scheduled.

## **9.0 CORRESPONDENCE / DIRECTION REQUIRED**

No items scheduled.

## **10.0 CORRESPONDENCE / FOR INFORMATION PURPOSES**

No items scheduled.

## **11.0 CORRESPONDENCE / ON COUNCIL TABLE**

No items scheduled.

## **12.0 UNFINISHED BUSINESS**

### **12.1 Council Meeting - Official Plan Preliminary Review**

Tuesday, May 26<sup>th</sup> at 9:00 a.m.

STAFF COMMENTS: Reminder only.

ACTION: Noted.

12.2 Association of Municipalities of Ontario (AMO) Annual Conference – August 16-19<sup>th</sup> 2020

Councillors Fisher and Miltenburg participating virtually.

STAFF COMMENTS: Reminder only.

ACTION: Noted.

12.3 Lake Huron Conference – Is the Coast Clear? – September 2-3<sup>rd</sup> 2020

Mayor McNeil and Deputy Mayor Watt attending.

STAFF COMMENTS: Reminder only.

ACTION: Noted.

*Since the Council Meeting is being held electronically through Zoom, a Video Conferencing Platform, Staff would ask that Council now proceed to Section 14 and adopt the by-laws prior to moving into an "In-Camera Session". This will allow the public participants an opportunity to be present during the adoption of the by-laws. Once the by-laws have been adopted, Council would then proceed to Section 13 and move into the "In-Camera Session". The public participants will not need to re-join as the meeting will be adjourned after the closed session.*

**13.0 IN-CAMERA / CLOSED SESSION**

Moved by Forster  
Seconded by Vanstone

MOVE TO #10  
IN-CAMERA

THAT Ashfield-Colborne-Wawanosh Township Council move into an "In-Camera" session, with the CAO/Clerk-Treasurer, Deputy-Clerk and the Public Works Superintendent remaining in attendance at 10:40 a.m. for the purpose of discussing:

- 1) Matters of proposed acquisition of land by the municipality.

Carried.

**13.1 RETURN TO OPEN SESSION**

Moved by Forster  
Seconded by Watt

RISE FROM #11  
IN-CAMERA

THAT Ashfield-Colborne-Wawanosh Township Council rise from an "In-Camera" session at 11:06 a.m.

Carried.

~

**13.2 BUSINESS ARISING FROM IN-CAMERA / CLOSED SESSION**

Nothing to report.

**14.0 BY-LAWS**

## 14.1 Administration Staff Position Title Change By-Law

Moved by Vanstone  
Seconded by Snobelen

ADMINISTR #12  
ATION  
STAFF  
POSITION  
TITLE BY-  
LAW

THAT leave be given to introduce By-Law #37-2020 being a by-law to change the titles of various Administrative Staff for the Township of Ashfield-Colborne-Wawanosh, and that it now be read severally a first, second, and third time, and finally passed this 19<sup>th</sup> day of May 2020.

Carried.

## 14.2 Confirmation By-Law

Moved by Watt  
Seconded by Miltenburg

CONFIRMAT #13  
ION BY-LAW

THAT leave be given to introduce By-Law #36-2020 being a by-law to confirm the proceedings of the Township of Ashfield-Colborne-Wawanosh meeting held on May 19, 2020, and that it now be read severally a first, second, and third time, and finally passed this 19<sup>th</sup> day of May 2020.

Carried.

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15.0 **ADJOURNMENT**

Moved by Forster  
Seconded by Fisher

ADJOURN #14

THAT Ashfield-Colborne-Wawanosh Township Council does now adjourn to meet again on May 26, 2020 at 9:00 a.m. or at the Call of the Mayor.

Carried.

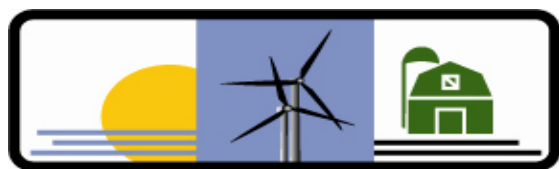
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Mayor, Glen McNeil

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CAO/Clerk-Treasurer, Mark Becker



— TOWNSHIP OF —  
ASHFIELD - COLBORNE - WAWANOSH

## Council Minutes May 26, 2020

Township of Ashfield-Colborne-Wawanosh Council met in special session on the 26<sup>th</sup> day of May 2020, at 9:00 am through Zoom, a video conferencing platform.

This meeting was held electronically as the crisis of COVID-19 allows Councils to conduct their meetings remotely to empower municipalities to respond quickly and continue to function when in-person meetings cannot be held, and Council decisions need to be made.

The following individuals were participants during the special Council meeting:

Mayor  
Deputy Mayor  
Councillors

Glen McNeil  
Roger Watt  
Gloria Fisher  
Wayne Forster  
Jennifer Miltenburg  
Anita Snobelen  
Bill Vanstone

CAO/Deputy Clerk  
Clerk  
Chief Building Official  
Public Works Superintendent  
Planner

Mark Becker  
Florence Witherspoon  
Brett Pollock  
Brian Van Osch  
Celina Whaling-Rae

OTHERS PRESENT: None.

### 1.0 **CALL TO ORDER**

This meeting has been called to do a preliminary review of the Township's Official Plan.

### 2.0 **DISCLOSURE OF PECUNIARY INTEREST / POTENTIAL CONFLICT OF INTEREST**

None disclosed.

### 3.0 **DELEGATIONS**

#### 3.1 Celina Whaling-Rae, Planner / Huron County Planning Department

We have provided Council with a copy of the Workshop Schedule. Ms. Whaling-Rae facilitated the Township's preliminary review of the Official Plan.

STAFF COMMENTS: None.

**ACTION:** Staff was directed to prepare a report for a future Council meeting on a review of the settlement areas within the Township. This report will identify Future Development lands where strengths exist, consider options for Future Development land swaps, as well as possibilities of expansion. Council was receptive to the idea of undertaking a Comprehensive Review of the settlement areas of the municipality, and this will be considered in the Report.

Council will meet again in special session on June 9<sup>th</sup> at 9:00 a.m. as well as June 23<sup>rd</sup> at 9:00 a.m. to further discuss the Official Plan.

### 4.0 **ADJOURNMENT**

Moved by Forster  
Seconded by Miltenburg

ADJOURN

THAT Ashfield-Colborne-Wawanosh Township Council does now adjourn to meet again on June 2, 2020 at 9:00 a.m. or at the Call of the Mayor.

Carried.

~



## PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA

Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677

Toll Free: 1.888.524.8394 Ext. 3

www.huroncounty.ca

5.1 (A)

To: Township of Ashfield-Colborne-Wawanosh, Mayor, and Members of Council  
From: Celina Whaling-Rae, Planner  
Date: May 27, 2020

**Re: Minor Variance Application MV45-20**  
Front Concession, Part Lot 25 and 26 as RP 22R13 Part 2, Ashfield, Township of Ashfield-Colborne-Wawanosh, known municipally as 84565 McDonald Lane

**Owner/Applicant:** Victor Kreft

This report is submitted to Ashfield-Colborne-Wawanosh (ACW) Council for the public meeting on June 2, 2020.

### RECOMMENDATION

It is recommended that the requested variance in application MV04/20 be approved, subject to the following conditions:

1. That the structures be located within the footprint contained on the site plan that accompanied the application.
2. That the structures be constructed as shown in the elevation drawing that accompanied the application.
3. That the variances' approval be valid for a period of 18 months from the date of the Committee's decision.

### PURPOSE

This application was submitted in order to re-locate an existing seasonal residence due to erosion concerns. Four variances are requested for the subject proposal:

Number	Section of the Zoning By-law	Requested Variance	Reason
1	3.31.7	Permission to construct within the 100 Erosion Hazard.	Necessary as the property lies entirely within the hazard.
2	15.4	A reduction in the rear yard setback from 7.5 metres to 4.38 metres for the seasonal residence.	Will allow for the residence to be relocated as far from the bluff as possible, as the rear yard of the subject property is that adjacent to the road allowance.
3	3.11	Permission for an increased encroachment of an attached deck into the rear yard from 1.5 metres to 3.32 metres.	Also a result of the residence being relocated as far from the bluff as possible.
4	3.4.3	An increase in the permitted height for an accessory structure from 4.5 metres to 6.17 metres.	Will allow the applicant to replace an existing garage with one of a similar height and size.

The subject property is designated Natural Environment and Lakeshore Residential. It is zoned NE1 (Natural Environment) and LR1 (Lakeshore Residential – Seasonal) with Conservation Authority Regulated Lands (Zone Map 3A). The property currently contains a seasonal residence and a garage. The garage is proposed to be replaced.

### **REVIEW**

The subject property is designated Natural Environment and Lakeshore Residential. It is zoned NE1 (Natural Environment) and LR1 (Lakeshore Residential – Seasonal) with Conservation Authority Regulated Lands (Zone Map 3A). Section 8.4.4.9 of the ACW Official Plan requires development to be compatible with surrounding uses. Section 45(1) of the *Planning Act* provides the following four tests of a minor variance:

- Is the variance minor?
- Is the variance considered appropriate planning for the subject site?
- Does the development conform with the ACW Zoning By-law?
- Does the development conform with the ACW Official Plan?

All of the proposed variances can be considered minor. The re-location of all structures will result in a rear yard setback that is comparable to that of surrounding properties. Moreover, the proposed increased height of the garage poses no neighbour concerns, as both the north and south sides of the property are lined with mature trees of a significant height. There are also no properties to the east whose view of Lake Huron could be obstructed.

The variances can be considered appropriate planning for the site. Maitland Valley Conservation Authority is supportive of the proposed development and increasing the distance of the seasonal residence and accessory structures from the natural hazard.

The use of the subject property is not proposed change, and will continue to conform with the ACW Zoning By-law. The Huron County and ACW Official Plans, along with the Provincial Policy Statement (PPS) (2020) are all encouraging of development which maintains safe setbacks from natural hazards. The development conforms to the ACW Official Plan.

**Image 1:** *Subject Property*







**SUMMARY**

It is recommended that minor variance application ACW MV04/20 be approved with conditions requiring that the structures be located within the proposed footprint and elevations, and that the variances' approval be valid for a period of 18 months from the date of the Committee's decision.

Please note that this report is prepared without the benefit of input from the public, as may be obtained through the public meeting. Council should carefully consider any comments and/or concerns expressed at the public meeting prior to make their decision on this application.

Sincerely,

Celina Whaling-Rae  
Planner

Site inspection: May 26, 2020

**Effect of Public and Agency Comments on Decision of Council to the Planning application  
(Pursuant to Sections 17, 22, 34, 35, 45, 51 and 53 of the Planning Act, RSO, 1990, as amended)**

	<b>A. Effect of Public Comments on Decision of Council</b>	<b>B. Effect of Agency Comments on Decision of Council (e.g. Planning, Public Works, Health Unit)</b>
<b>1. Council agrees with effects of input as contained in the planning report</b>	Council concurs with the planning report regarding the effect of public and agency comments on the decision.	
<b>2. No comments received</b>	No public comments were received on this application so there was no effect on the decision.	No agency comments were received on this application so there was no effect on the decision.
<b>3. Supportive comments received</b>	Public comments were received in support of the application, the effect of which resulted in a decision to approve the application.	Agency comments were received in support of the application, the effect of which resulted in a decision to approve the application.
<b>4. Concerns raised were addressed through conditions to approval or changes to mapping or text amendment</b>	Public comments were received on the issue(s) of _____. The comments were address through (conditions to approval/changes to the mapping or text of the amendment).	Comments were received from agencies on the issues of _____. The comments were addressed through (conditions to approval/changes to the mapping or text of the amendment).
<b>5. Concerns raised did not influence the decision</b>	Public comments were received on the issue(s) of _____. Comments were thoroughly considered but the effect did not influence the decision of Council to (approve/deny) the application.	Comments were received from agencies identifying the issue(s) of _____. Comments were thoroughly considered but the effect did not influence the decision of Council to (approve/deny) the application.
<b>6. Concerns raised did influence the decision</b>	Public comments were received on the issue(s) of _____, the effect of which influenced the decision of Council to (approve/deny) the application.	Agency comments were received on the issue(s) of _____, the effect of which influenced the decision of Council to (approve/deny) the application.
<b>7. Comments received in support and opposition to the application</b>	Options from above 1A/3A/4A/5A/6A	Options from above 1B/3B/4B/5B/6B
<b>8. Other</b>	Additional wording deemed appropriate by Council	Additional wording deemed appropriate by Council

## Notice of Public Meeting

### For Proposed Minor Variances to Zoning By-law 32-2008

Planning Act, R.S.O. 1990, cP. 13., S. 45 (5)

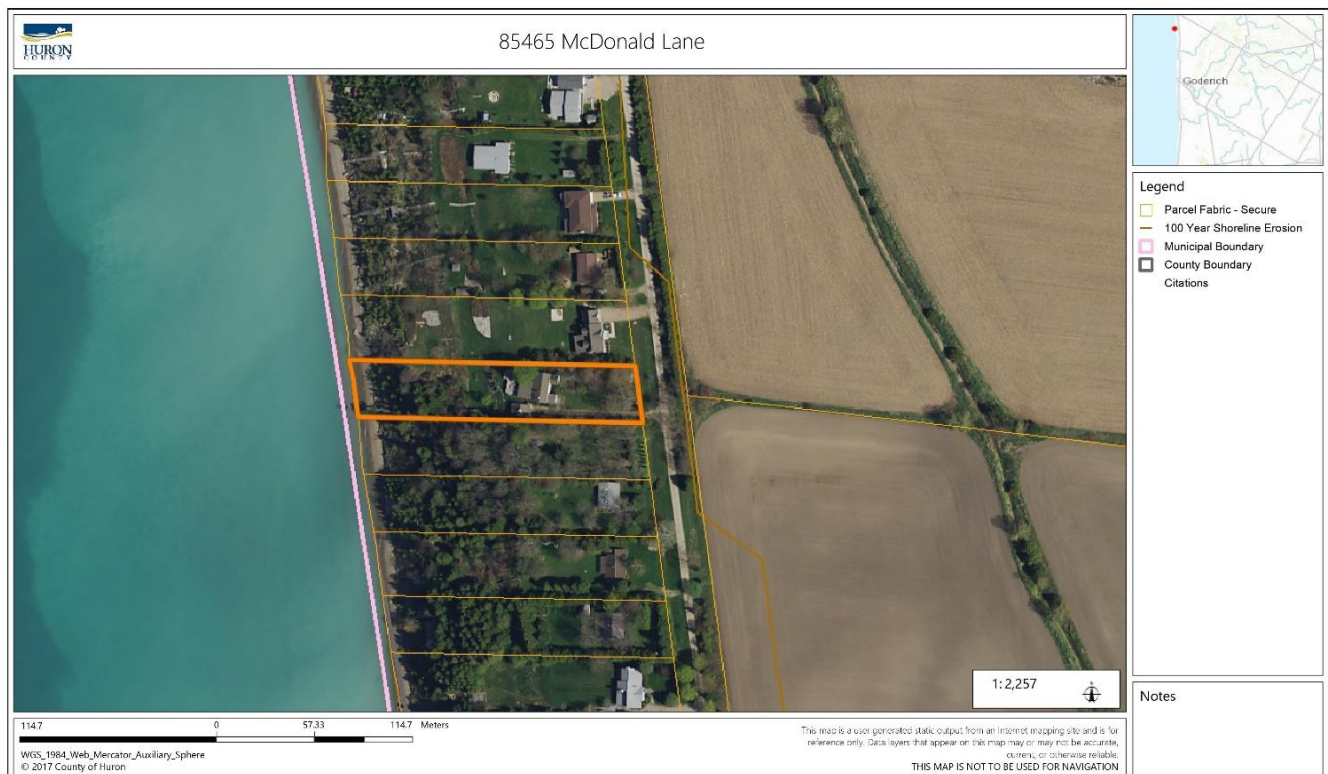
A change is proposed in your neighbourhood. A Minor Variance Application has been received that, if approved, would allow:

1. Development within the 100 Year Erosion Hazard;
2. The relocation of an existing cottage to have a rear yard setback of 4.38 metres;
3. The construction of an attached deck with an encroachment of 3.32 metres into the rear yard; and
4. The construction of a garage with a height of 6.17 metres.

These changes are proposed in order to re-locate an existing seasonal residence as a result of erosion concerns.

**You are invited to participate in an online Public Meeting on Tuesday, June 2<sup>nd</sup>, 2020 at 9:00am.**

During this time, the Township of Ashfield-Colborne-Wawanosh Committee of Adjustment will be considering the change.



Owner/Applicant: Victor Kreft

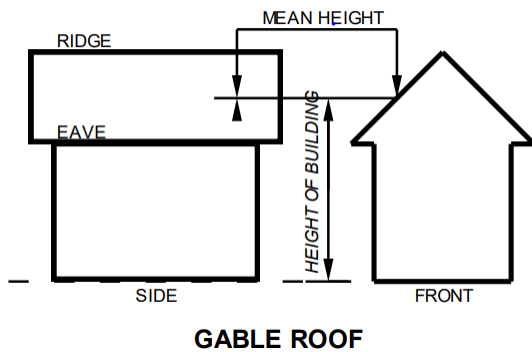
Location of Property: FRONT CON PT LOT 25 PT LOT 26 as RP 22R13 Part 2, Ashfield (85465 McDonald Lane)

## The Proposed Change

The purpose of this application is to seek relief from multiple provisions of Zoning By-law 32-2008 for the Township of Ashfield-Colborne-Wawanosh.

1. Section 3.31.7 of the by-law establishes the 100 Year Erosion Hazard as the setback for all development along Lake Huron. Relief from this provision is necessary, as the property lies entirely within the hazard (as seen in the image above).
2. Section 15.4 of the by-law establishes the rear yard setback for the subject property as 7.5 metres. For properties along Lake Huron, the rear yard side of the property is that which adjacent to the road allowance. The applicant is proposing to re-locate his existing cottage to have a rear yard setback of 4.38 metres. The reduced setback is proposed in order to maintain a safe setback from top-of-bank.
3. Section 3.11 of the by-law allows attached decks to have a maximum of encroachment of 1.5 metres into the minimum front, exterior side, or rear yard setback. The applicant is proposing to construct an attached that has an encroachment of 3.32 metres into the rear yard from that portion of his cottage which would have a rear yard setback of 6.10 metres. This attached deck would therefore have a 2.78 metre rear yard setback.

4. Section 3.4.3 of the by-law stipulates that the maximum height at which an accessory structure (i.e. shed) may be constructed on the subject property is 4.5 metres. Appendix 2 of the Zoning By-law stipulates that the height of a structure with a gable roof shall be calculated as the mean between the height of the eave and roof, as demonstrated below. The applicant is proposing to construct a garage that has a height of 6.172 metres.



The subject property is designated Natural Environment and Lakeshore Residential in the Ashfield-Colborne-Wawanosh Official Plan and is zoned NE1 (Natural Environment) and LR1 (Lakeshore Residential - Seasonal) in the Ashfield-Colborne-Wawanosh Zoning By-law (Zone Map 3A).

## Learn More

Further information regarding this application can be found at <http://www.acwtownship.ca/property-development/planning-applications/>. Questions may be directed to the Planner Celina Whaling-Rae at [cwhalingrae@huroncounty.ca](mailto:cwhalingrae@huroncounty.ca) or by phoning 519-524-8394 extension 3. Once the municipal office re-opens, information about the application can also be obtained in-person between the hours of 8:30am and 4:00pm.

## Have Your Say

Comments and opinions submitted on this proposal, including the originator's name and address, become part of the public record, and may be viewed by the general public and may be published in a planning report and Council agenda.

1. You can submit comments, objections or concerns by mail (address above) or email to [dclerk@acwtownship.ca](mailto:dclerk@acwtownship.ca)
2. You can speak during the online public meeting. \*Individuals are strongly encouraged to submit their comments prior to the meeting for consideration.

## How to Access the Public Meeting

As a result of the COVID-19 Pandemic, the Township of Ashfield-Colborne-Wawanosh has closed the municipal office to the public. The Public Meeting will be held in electronic format.

You are entitled to attend this public meeting electronically to express your views about this application, or you may be represented by counsel for that purpose.

For information on how to participate in the Public Meeting, please visit the municipal website at <http://www.acwtownship.ca/council/council-agendas-4/>. Details on participating in the electronic meeting will be provided when the agenda is published at the end of the business day on the Friday before the meeting. If you have any questions regarding how to participate in the meeting, please phone the municipal office at 519-524-4669.

## Stay Informed

If you would like to be notified of the decision, you must make a written request to the Committee of Adjustment at the municipal address above, or through email to [dclerk@acwtownship.ca](mailto:dclerk@acwtownship.ca). This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing if the decision of this application is appealed.

## Your Rights

The applicant, the Minister of Municipal Affairs & Housing, or any other person or public body who has an interest in this matter may, within 20 days of the making of the decision, appeal to the Tribunal against the decision of the committee. This may be done by filing with the Secretary-Treasurer of the Committee a Notice of Appeal setting out the objection to the decision and the reasons in support of the objection. This must be accompanied by payment to the Secretary-Treasurer of the fee charged by the Tribunal under the Local Planning Appeal Tribunal Act, 2017 as payable on an appeal from a Committee of Adjustment to the Tribunal, in accordance with Section 45(12) of the Planning Act. For more information, please visit the Local Planning Appeal Tribunal website at <https://elto.gov.on.ca/tribunals/lpat>.

For office use only

File # \_\_\_\_\_

Received \_\_\_\_\_, 20 \_\_\_\_\_

Considered Complete \_\_\_\_\_, 20 \_\_\_\_\_

# APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

Planning Act, RSO 1990, O. Reg. 200/96, Amended by O.Reg. 432/96 & 508/98

Minor Variance	2018 Fee Effective Jan 1/18	2019 Fee Effective Jan 1/19	2020 Fee Effective Jan 1/20	2021 Fee Effective Jan 1/21
- 1 or 2 variances	\$1,456	\$1,484	\$1,514	\$1,544
- 3 or more variances	\$1,872	\$1,909	\$1,947	\$1,986

Each application must be accompanied by the application fee in the form of a cheque payable to the local municipality.

The undersigned hereby applies to the Committee of Adjustment for the TOWNSHIP OF

ASHFIELD - COLBORNE - WAWANOSH (name of municipality) under section 45 of the Planning Act 1990 for relief, as described in this application, from By-law No 32-2008 (as amended).

1. Name of Owner VICTOR KREFT & LINA AYOUB

Telephone : 416-846-4716 Email: victorkreft@hotmail.com

Address 85465 McDONALD LANE, RR3 GODERICH ON  
NTA 3X9.

2. Name of Agent (if applicable) \_\_\_\_\_

Telephone : \_\_\_\_\_ Email: \_\_\_\_\_

Address \_\_\_\_\_

Note: Unless otherwise requested, all communications will be sent to the agent, if any.

3. Provide legal description and address of property.

Ward: ASHFIELD PT2 RD13

Concession: FRONT NTP WD Lot: PTLT 25-26 Registered Plan #: TIW R340888

911 Address and Road Name: 85465 McDONALD LANE, RR3

NOTE: If property legal description and address approved, all numbers following will need to be changed.

4. Names and addresses of any mortgages, holders of charges or other encumbrances:

CMLS FINANCIAL  
18 YORK ST., SUITE 1500  
TORONTO, ON M5T 2T8

5. Nature and extent of relief applied for:

BUILDINGS (HOUSE & GARAGE) TO BE RELOCATED  
AWAY FROM TOP OF BLUFF DUE TO RISK OF  
EROSION - RELATED BLUFF FAILURE

6. Why is it not possible to comply with the provisions of the by-law?

IN ORDER TO MAXIMIZE CLEARANCE TO BLUFF  
AND AVOID FUTURE BUILDING RELOCATIONS,  
CLEARANCES AS SET FORTH WITHIN BYLAWS/  
REGULATIONS CANNOT BE MET.

7. Legal description of subject land (registered plan number and lot number or other legal description and, where applicable, street and street number):

Ward: ASHFIELD

Lot(s): PT 25 & PT 26 Concession: FRONT NTP WD

Roll Number: 4070 640 647 016 00 0000 Registered Plan No.: T1W R34 0888

911 Number & Road Name: 85465 McDONALD LANE

8. Is any of the subject land in Wellhead Protection Area C? Yes  No  Unknown

If **Yes**, please obtain a Restricted Land Use Permit from the Risk Management Official. If **Unknown**, please consult with your Municipal Planner and obtain a Restricted Land Use Permit if necessary.

9. Indicate if access to the property is by Provincial Highway, municipal road maintained all year or seasonally, another public road or right of way: PRIVATE ROAD.

10. Will this proposal result in adding or changing the location of any driveways/accesses/entrances?

Yes  No

11. Dimensions of land affected:

Frontage: 24.460 m. Area: ~ 0.76 acres

Depth: 125.880 m (irregular) Width of street: \_\_\_\_\_

12. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, number of storeys, width, length, height, etc.):

Existing:

HOUSE: 39' w x 50'4" l x 21'7" h; 2222.5 sqft; 2 storeys  
GARAGE: 16' w x 24' l x 12'3" h

Proposed:

HOUSE: 39' w x 50'4" l x 23'7" h; 2222.5 sqft; 2 storeys  
GARAGE: 16' w x 24' l x 19'8 5/8" h.

13. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines):

Existing:

HOUSE: ~103' from rear, ~206' from front, ~11.5' from north, ~22' from south.

GARAGE: ~147.5' from rear, ~236' from front.

Proposed:

~57.5' from north, ~3.3' from south.

HOUSE: 10' from rear, ~338' from front, 11' from north, 28.8' from south.

GARAGE: 13' from rear, ~370.75' from front, 58' from north, 4'9 1/2" from south.

14. Date of acquisition of subject land:

JANUARY 4, 2017

15. Date of construction of all buildings and structures on subject land:

circa 1970's

16. Existing uses of the subject property:

LAKE SHORE RESIDENTIAL

17. Existing uses of abutting properties:

LAKESHORE RESIDENTIAL

18. Length of time the existing uses of the subject property have continued:

UNKNOWN

19. Municipal services available (check appropriate space or spaces):

Water – Connected

Publicly Owned

Privately Owned

Communal Well

Lake

Sewage Disposal – Connected

Sanitary Sewers

Septic System

Privy

Storm Drainage – Connected

Storm Sewers

Ditches

Swales

Other

20. Is this property assessed to a Municipal Drain?

Yes  No

If yes, what is the name of the drain? \_\_\_\_\_

21. Is there a tile drain loan for this property or has an application for a tile drain loan been submitted to the Municipality within the last 90 days?

Yes  No

22. Present Official Plan provisions applying to the land:

LAKESHORE RESIDENTIAL



23. Present Zoning By-law provisions applying to the land:

LAKESHORE RESIDENTIAL (LRI)

24. Has the owner previously applied for relief in respect of the subject property?

Yes  No

If the answer is yes, describe briefly:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

25. Applicants are strongly encouraged to contact the County and speak/meet with the Planner to the Municipality before submitting an application for information.

Date of Applicant's consultation meeting with County Planner: 24 APR 2020

Has the Planner advised the Applicant that this application needs to be reviewed by the Huron County Stewardship Coordinator for comments on Natural Heritage matters.

Yes  (submit a fee of \$212.00 made payable to the Treasurer, County of Huron) No

26. Is the subject property the subject of a current application for consent or plan of subdivision under the **Planning Act**? If yes, please indicate file number:

Yes  No

**Notes:**

a) It is required that . . . . . copies of this application be filed with the Secretary-Treasurer of the Committee of Adjustment, together with the plan referred to in Note 2, accommodated by a

fee of \$ \_\_\_\_\_ in cash or by cheque made payable to the Treasurer of the

\_\_\_\_\_  
(name of municipality)

b) Each copy of this application must be accompanied by a plan showing the dimensions of the subject land and all abutting land; the location, size and type of all existing and proposed buildings and structures on the subject land indicating the distance of the buildings from the lot lines; approximate location of all natural and artificial features on the subject and adjacent lands; location, width and name of roads; location of easements; and use of adjacent lands. The Committee of Adjustment may require that the plan be signed by an Ontario Land Surveyor.

- c) *Please be advised the responsibility for filing a complete application rests solely with the owner/applicant. Anything not requested or applied for in this application and subsequently found to be necessary (which may require another application(s) and fee(s)) are the sole responsibility of the owner/applicant. The County/Municipality will address only the application as applied for, and any items that are not included in the application are not the responsibility of the County/Municipality.*

*All studies required to support this application shall be at the expense of the applicant and included at the time of submission as a complete application. Where the County/Municipality incurs costs for the peer review of any consultants' reports or fees for legal opinions, the County/Municipality will be reimbursed such costs by the applicant.*

*In the event of third-party appeals to applications approved by the County/Municipality, the applicant may be responsible for some or all of the legal and other costs incurred by the County/Municipality, at the discretion of the County/Municipality.*

**OWNER'S AUTHORIZATION**

*(This must be completed by the OWNER if the **owner is not filing the application.**)*

I/We \_\_\_\_\_, being the registered owner(s) of the subject lands,  
hereby

authorize \_\_\_\_\_ to prepare and submit an application of Minor  
Variance.

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Date

**APPLICANT'S DECLARATION**

*(This must be completed by the **Person Filing the Application** for the proposed development site.)*

I, \_\_\_\_\_ of the \_\_\_\_\_  
(Name of Applicant) (Name of Town, Township, etc.)

In the Region/County/District \_\_\_\_\_ solemnly declares that all of the statements  
contained in this application and supporting documentation are true and complete, and I make this solemn  
declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made  
under oath, and by virtue of the "Canada Evidence Act."

DECLARED before me at:

Region/County/District \_\_\_\_\_

In the Municipality of \_\_\_\_\_

\_\_\_\_\_  
Signature

This \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
(Day) (Month) (Year)

\_\_\_\_\_  
Please **Print** name of Applicant

\_\_\_\_\_  
Commissioner of Oaths

**OWNER/APPLICANT'S CONSENT DECLARATION**

In accordance with the provisions of the Planning Act, it is the policy of the County Planning Department to provide the public access to all development applications and supporting documentation.

In submitting this development application and supporting documentation, I, \_\_\_\_\_, the owner/the authorized applicant, hereby acknowledge the above-noted policy and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

I hereby authorize the County of Huron staff, Municipal staff and council members of the decision making authority to access to the subject site for purposes of evaluation of the subject application.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

**OFFICE USE ONLY**

CERTIFICATION

I, \_\_\_\_\_

For the \_\_\_\_\_

Of \_\_\_\_\_ in the \_\_\_\_\_ of \_\_\_\_\_

Certify that the above application is a true copy.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_

Signature \_\_\_\_\_

**COMPLETE THIS FORM TO DETERMINE IF  
SEPTIC COMMENTS ARE REQUIRED  
ON YOUR PLANNING APPLICATION**

For certain planning applications, comments are required from local municipal staff to assist the municipality in its decision on your application. This sheet will determine if comments are required from local staff, and if so, the appropriate fee\* must be submitted with your application and paid to the local municipality (\*based on the local municipality's Fee Schedule – consult with your Planner to determine).

Name of Applicant: VICTOR KREFT

Name of Owner (if different from the applicant): \_\_\_\_\_

Location of Property (Lot, Concession or Registered Plan, and Municipality):

ASHFIELD PT2 RD13 FRONT NTP WD PTLT 25-26  
T/W R340088, McDONALD LANE, RR3.

Type of Planning Application(s) submitted with this form:

- Consent (severance)                       Minor Variance  
 Zoning By-Law Amendment               Plan of Subdivision/Condominium  
 Official Plan Amendment

Please answer Section A OR Section B, depending on the type of servicing available. In the following question, "property" means the subject property or, in the case of a severance, each of the resulting lots.

Section A – Where **SANATARY SEWERS** are available.

Is the property within 183 metres (600 feet) of an abattoir (slaughter house)?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
--	------------------------------	-----------------------------

Section B – Where **SEPTIC SYSTEMS** are required.

The application is for the creation of a new lot for which the primary use will be a new dwelling (other than a new dwelling on a farm).	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is the property less than .4 hectares (1 acre) in area?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Does the property have less than .2 hectares (1/2 acre) of "useable land" for a septic tank and tile bed? See definition of "useable land" below.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I am uncertain of the location of the existing septic tank and tile bed on the property.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
There will be more than one dwelling unit on each lot.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
An industrial or commercial use is proposed which will require a septic system.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is the property with 183 metres (600 feet) of an abattoir (slaughter house)?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
The application is for a new Plan of Subdivision/Condominium	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Proceed to Section C

"Useable Land" means an area of land with suitable original soil for the installation of a Class 4 subsurface sewage disposal system, free of any buildings, structures swimming pools, etc. and such land is or will be used solely for a septic tank and tie bed and any future replacement of the tile bed, and which area is at least 3 metres (10 feet from any property line, at least 15 metres (15 feet) from a top-of-bank of a watercourse or lake, not located in a flood plain, not located in an environmentally sensitive area, and does not contain field tile or other artificial drainage. (Other restrictions may apply according to legislation.)

Name of Owner or Designated Agent

Signature and Date

To be completed by Municipal Clerk: Has the Septic Review Fee, made payable to the local municipality, been collected from the applicant?

\*Please note type of application and file # on the cheque.

Yes

No

Amount: \_\_\_\_\_

---

Name of Clerk-Treasurer

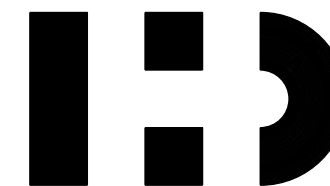
Signature and Date





## CUSTOM GARAGE for VICTOR KREFT

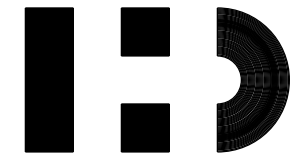
85465 MCDONALD LANE, ASHFIELD-COLBORNE-WAWANOSH, ON



**HOMES BY design**

RR#4 MOUNT FOREST, ON  
phone : (519) 323-4060  
fax : (519) 323-3052





# HOMES BY design

RR#4 MOUNT FOREST, ON  
BCIN# : 30493  
phone : (519) 323-4060  
fax : (519) 323-3052

CUSTOMER:

VICTOR KREFT

PROJECT TYPE:

CUSTOM GARAGE

LOCATION:

85465 MCDONALD LANE,  
ASHFIELD-COLBORNE-  
WAWANOSH, ON

CONTRACTOR:

ELLIOTT CONSTRUCTION

DRAWING:

FOUNDATION PLAN

SCALE:

1/4" = 1'-0"

DATE:

APRIL 23, 2020

DRAWN BY:

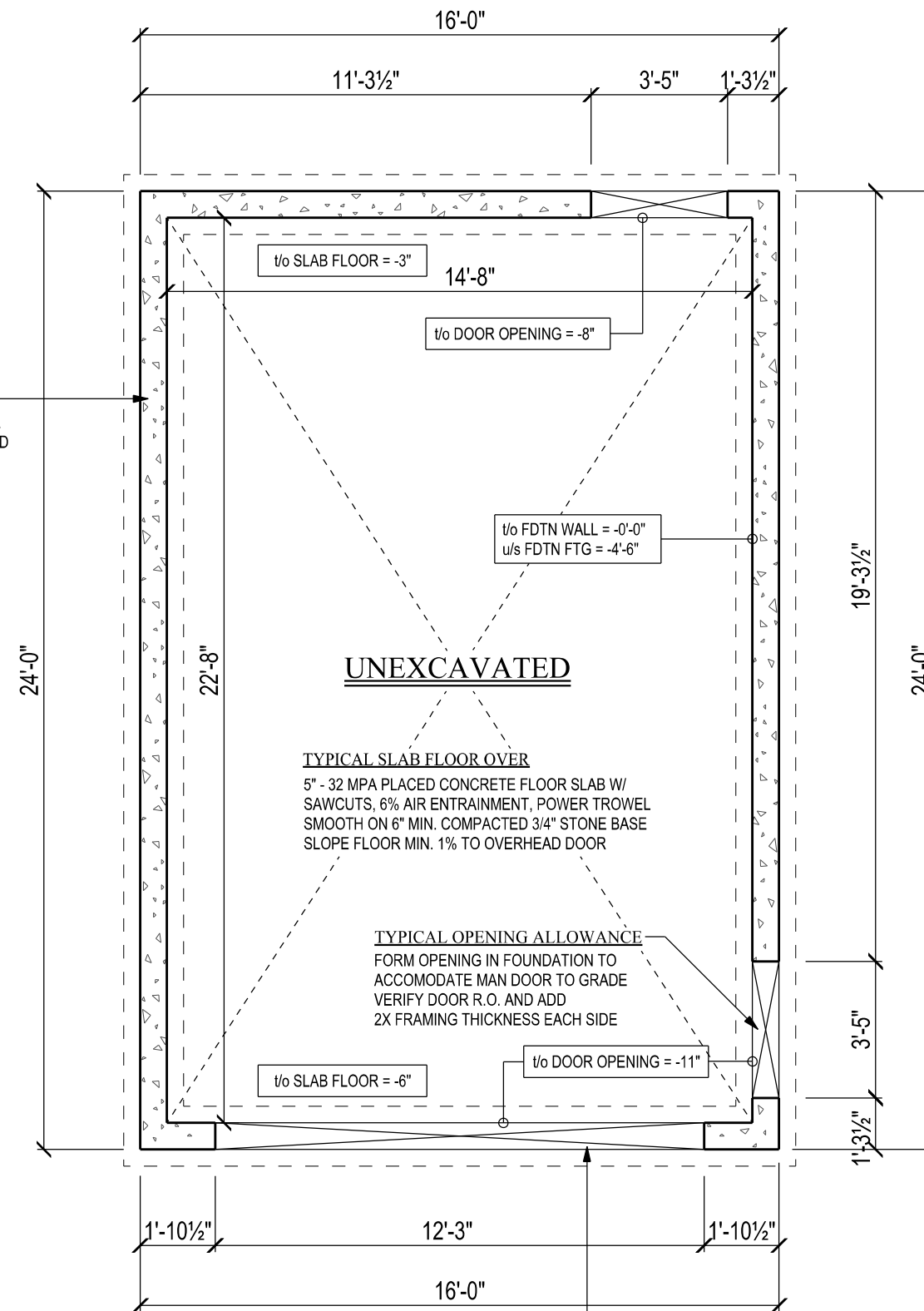
MURRAY NORRIS  
BCIN# 22544

SHEET NUMBER

# A1

1 OF 9

TYPICAL FOUNDATION WALL  
8" - 20 MPA CONCRETE FOUNDATION WALL  
20"x6" - 20 MPA CONCRETE FOOTING KEYED



## FOUNDATION PLAN

ALL CONCRETE WALLS 8" THICK UNLESS NOTED OTHERWISE.  
ALL ANGLED WALLS 45 DEGREES (1:1) UNLESS NOTED OTHERWISE.



**HOMES BY design**

RR#4 MOUNT FOREST, ON  
 BCIN# : 30493  
 phone : (519) 323-4060  
 fax : (519) 323-3052

CUSTOMER:

VICTOR KREFT

PROJECT TYPE:

CUSTOM GARAGE

LOCATION:

85465 MCDONALD LANE,  
 ASHFIELD-COLBORNE-  
 WAWANOSH, ON

CONTRACTOR:

ELLIOTT CONSTRUCTION

DRAWING:

MAIN FLOOR PLAN

SCALE:

1/4" = 1'-0"

DATE:

APRIL 23, 2020

DRAWN BY:

MURRAY NORRIS  
 BCIN# 22544

SHEET NUMBER

**A2**

2 OF 9

**WINDOW AND DOOR NOTES :**

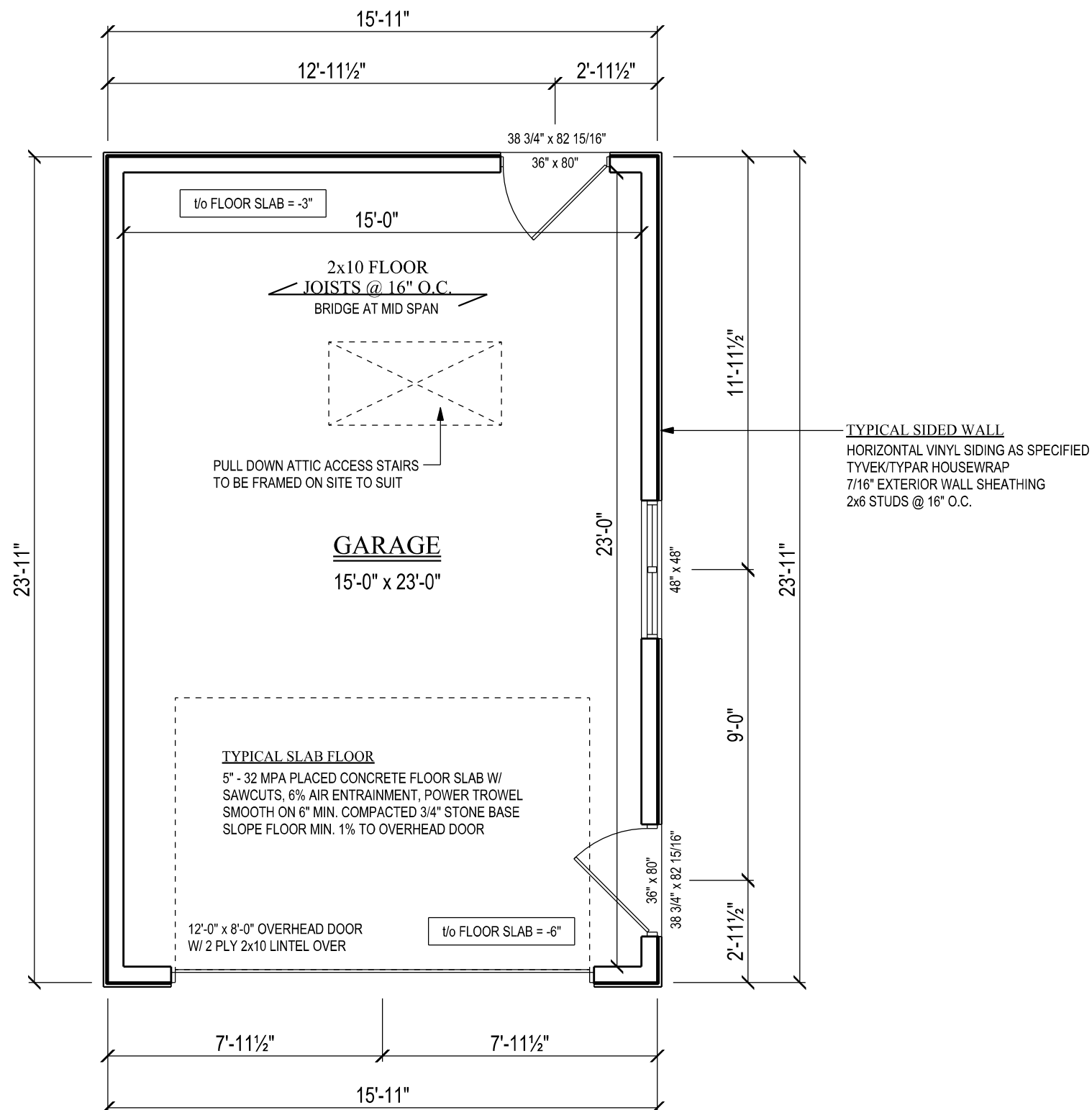
- WINDOW AND DOOR SIZES ON PLAN ARE SUGGESTED SIZES & MAY NOT BE ACTUAL OR ROUGH OPENING SIZE.
- CONFIRM ALL EXTERIOR WINDOW AND DOOR ROUGH STUD OPENING SIZES PRIOR TO CONSTRUCTION.

**DIMENSIONING NOTES :**

- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE.
- DIMENSIONS IN THIS PLAN ARE GENERALLY MEASURED FROM ROUGH STUD EDGE TO ROUGH STUD EDGE.
- 2x6 WALLS ARE ASSUMED TO BE 5-1/2" WIDE.
- 2x4 WALLS ARE ASSUMED TO BE 3-1/2" WIDE.
- DIMENSIONS TO EXTERIOR WALLS WILL BE MEASURED TO OUTSIDE EDGE OF STUD.
- INTERIOR DIMENSIONS WILL BE MEASURED TO THE INNER EDGE OF STUD.

**GENERAL NOTES :**

- BUILDER OR CONTRACTOR MUST CONFORM TO O.B.C. 2012 REGULATIONS & LOCAL INSPECTIONS.
- ELECTRICAL LAYOUT PROVIDED BY OWNER.



**MAIN FLOOR PLAN 384 SQ.FT.**

ALL EXTERIOR WALLS 2"x6" @ 16" O.C. AND 9'-1" HIGH UNLESS NOTED OTHERWISE.  
 ALL ANGLED WALLS 45 DEGREES (1:1) UNLESS NOTED OTHERWISE.



# HOMES BY design

RR#4 MOUNT FOREST, ON  
BCIN# : 30493  
phone : (519) 323-4060  
fax : (519) 323-3052

CUSTOMER:

VICTOR KREFT

PROJECT TYPE:

CUSTOM GARAGE

LOCATION:

85465 MCDONALD LANE,  
ASHFIELD-COLBORNE-  
WAWANOSH, ON

CONTRACTOR:

ELLIOTT CONSTRUCTION

DRAWING:

ATTIC FLOOR PLAN

SCALE:

1/4" = 1'-0"

DATE:

APRIL 23, 2020

DRAWN BY:

MURRAY NORRIS  
BCIN# 22544

SHEET NUMBER

# A3

3 OF 9

**WINDOW AND DOOR NOTES :**

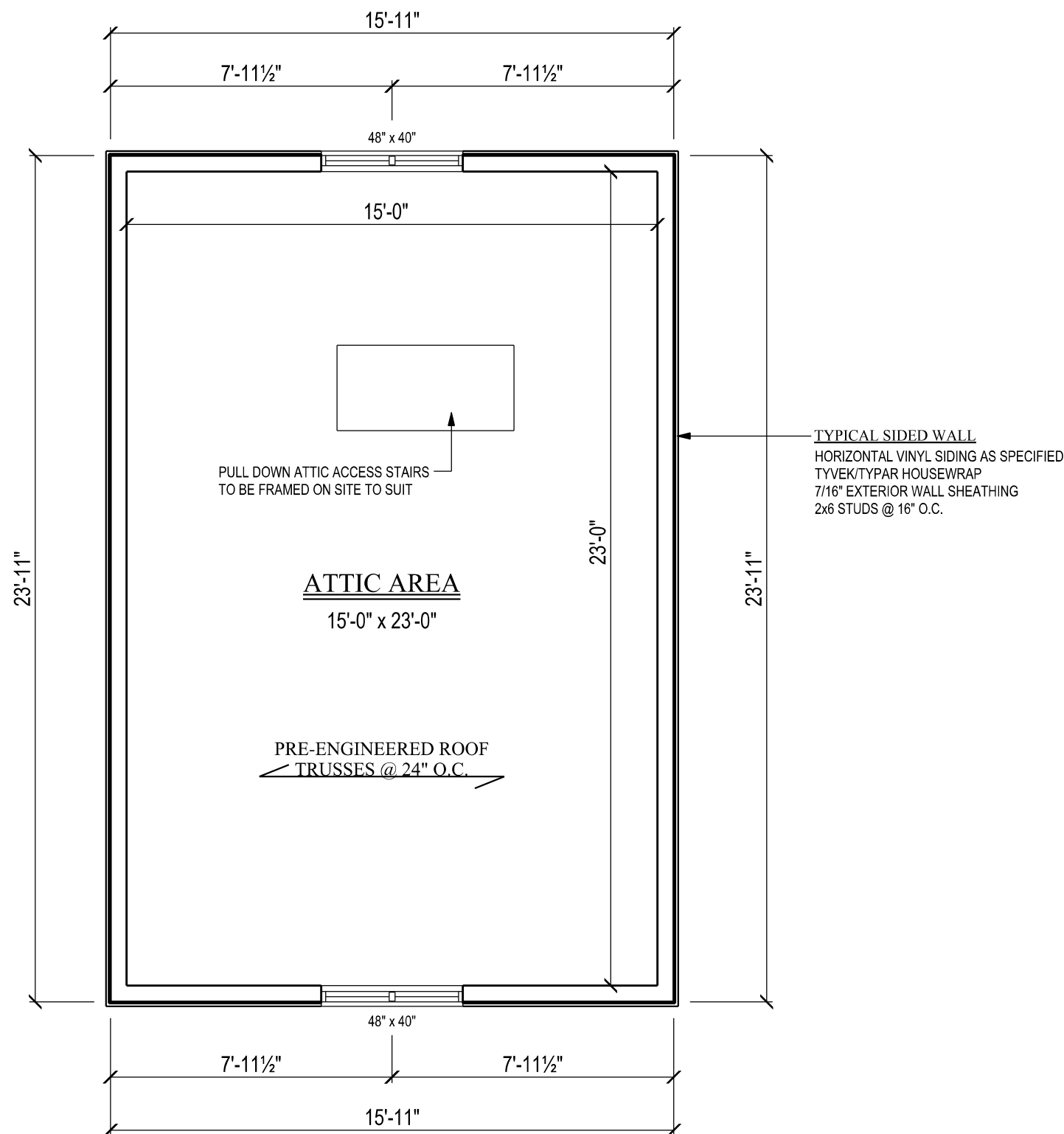
- WINDOW AND DOOR SIZES ON PLAN ARE SUGGESTED SIZES & MAY NOT BE ACTUAL OR ROUGH OPENING SIZE.
- CONFIRM ALL EXTERIOR WINDOW AND DOOR ROUGH STUD OPENING SIZES PRIOR TO CONSTRUCTION.

**DIMENSIONING NOTES :**

- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE.
- DIMENSIONS IN THIS PLAN ARE GENERALLY MEASURED FROM ROUGH STUD EDGE TO ROUGH STUD EDGE.
- 2x6 WALLS ARE ASSUMED TO BE 5-1/2" WIDE.
- 2x4 WALLS ARE ASSUMED TO BE 3-1/2" WIDE.
- DIMENSIONS TO EXTERIOR WALLS WILL BE MEASURED TO OUTSIDE EDGE OF STUD.
- INTERIOR DIMENSIONS WILL BE MEASURED TO THE INNER EDGE OF STUD.

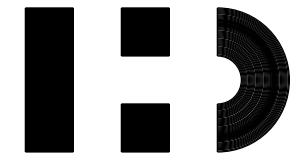
**GENERAL NOTES :**

- BUILDER OR CONTRACTOR MUST CONFORM TO O.B.C. 2012 REGULATIONS & LOCAL INSPECTIONS.
- ELECTRICAL LAYOUT PROVIDED BY OWNER.



## ATTIC FLOOR PLAN 384 SQ.FT.

ALL EXTERIOR WALLS 2x6 @ 16" O.C. AND 7'-6" HIGH UNLESS NOTED OTHERWISE.  
ALL ANGLED WALLS 45 DEGREES (1:1) UNLESS NOTED OTHERWISE.



**HOMES BY design**

RR#4 MOUNT FOREST, ON  
 BCIN# : 30493  
 phone : (519) 323-4060  
 fax : (519) 323-3052

CUSTOMER:  
**VICTOR KREFT**

PROJECT TYPE:  
**CUSTOM GARAGE**

LOCATION:  
 85465 MCDONALD LANE,  
 ASHFIELD-COLBORNE-  
 WAWANOSH, ON

CONTRACTOR:  
**ELLIOTT CONSTRUCTION**

DRAWING:  
**FRONT ELEVATION**

SCALE:  
 1/4" = 1'-0"

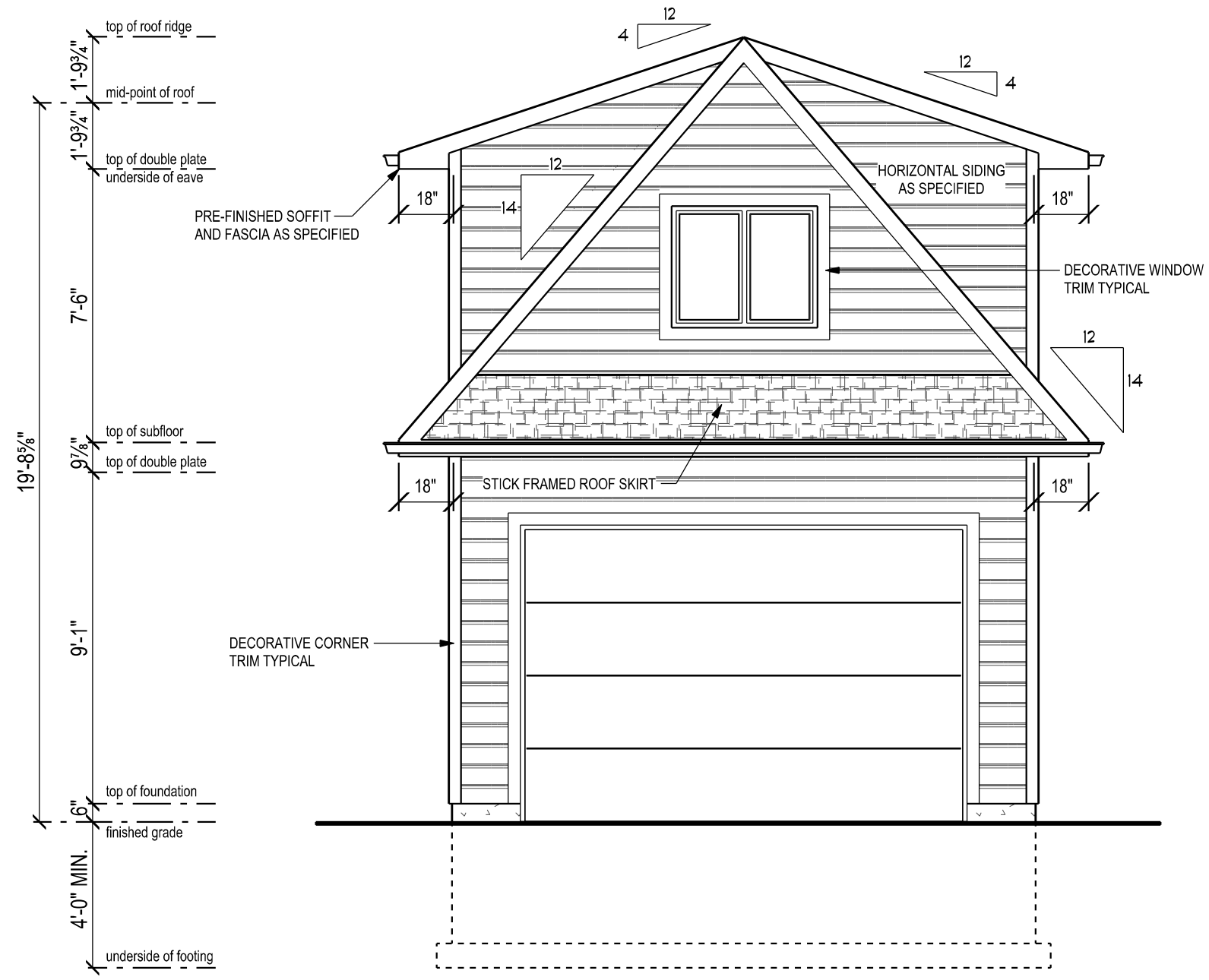
DATE:  
 APRIL 23, 2020

DRAWN BY:  
**MURRAY NORRIS**  
 BCIN# 22544

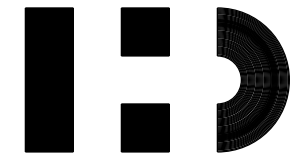
SHEET NUMBER  
**A4**

4 OF 9

NOTE:  
 VENTILATE ATTIC SPACE TO 1/300TH  
 OF INSULATED AREA W/ COLOUR  
 MATCHING ROOF VENTS



**FRONT ELEVATION**



**HOMES BY design**

RR#4 MOUNT FOREST, ON  
BCIN# : 30493  
phone : (519) 323-4060  
fax : (519) 323-3052

CUSTOMER:

VICTOR KREFT

PROJECT TYPE:

CUSTOM GARAGE

LOCATION:

85465 MCDONALD LANE,  
ASHFIELD-COLBORNE-  
WAWANOSH, ON

CONTRACTOR:

ELLIOTT CONSTRUCTION

DRAWING:

LEFT ELEVATION

SCALE:

1/4" = 1'-0"

DATE:

APRIL 23, 2020

DRAWN BY:

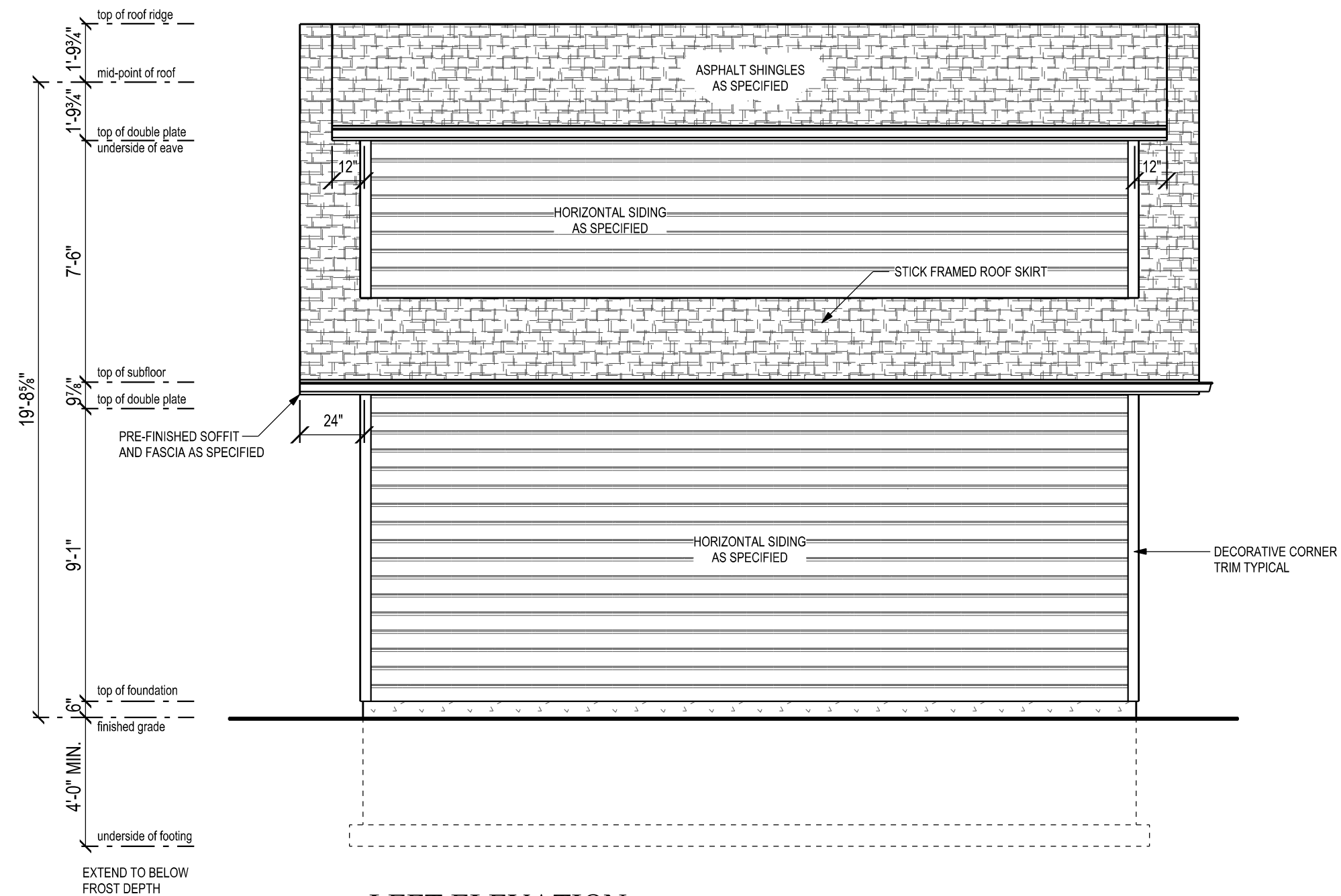
MURRAY NORRIS  
BCIN# 22544

SHEET NUMBER

**A5**

5 OF 9

NOTE:  
VENTILATE ATTIC SPACE TO 1/300TH  
OF INSULATED AREA W/ COLOUR  
MATCHING ROOF VENTS



**LEFT ELEVATION**



# HOMES BY design

RR#4 MOUNT FOREST, ON  
BCIN# : 30493  
phone : (519) 323-4060  
fax : (519) 323-3052

CUSTOMER:

VICTOR KREFT

PROJECT TYPE:

CUSTOM GARAGE

LOCATION:

85465 MCDONALD LANE,  
ASHFIELD-COLBORNE-  
WAWANOSH, ON

CONTRACTOR:

ELLIOTT CONSTRUCTION

DRAWING:

REAR ELEVATION

SCALE:

1/4" = 1'-0"

DATE:

APRIL 23, 2020

DRAWN BY:

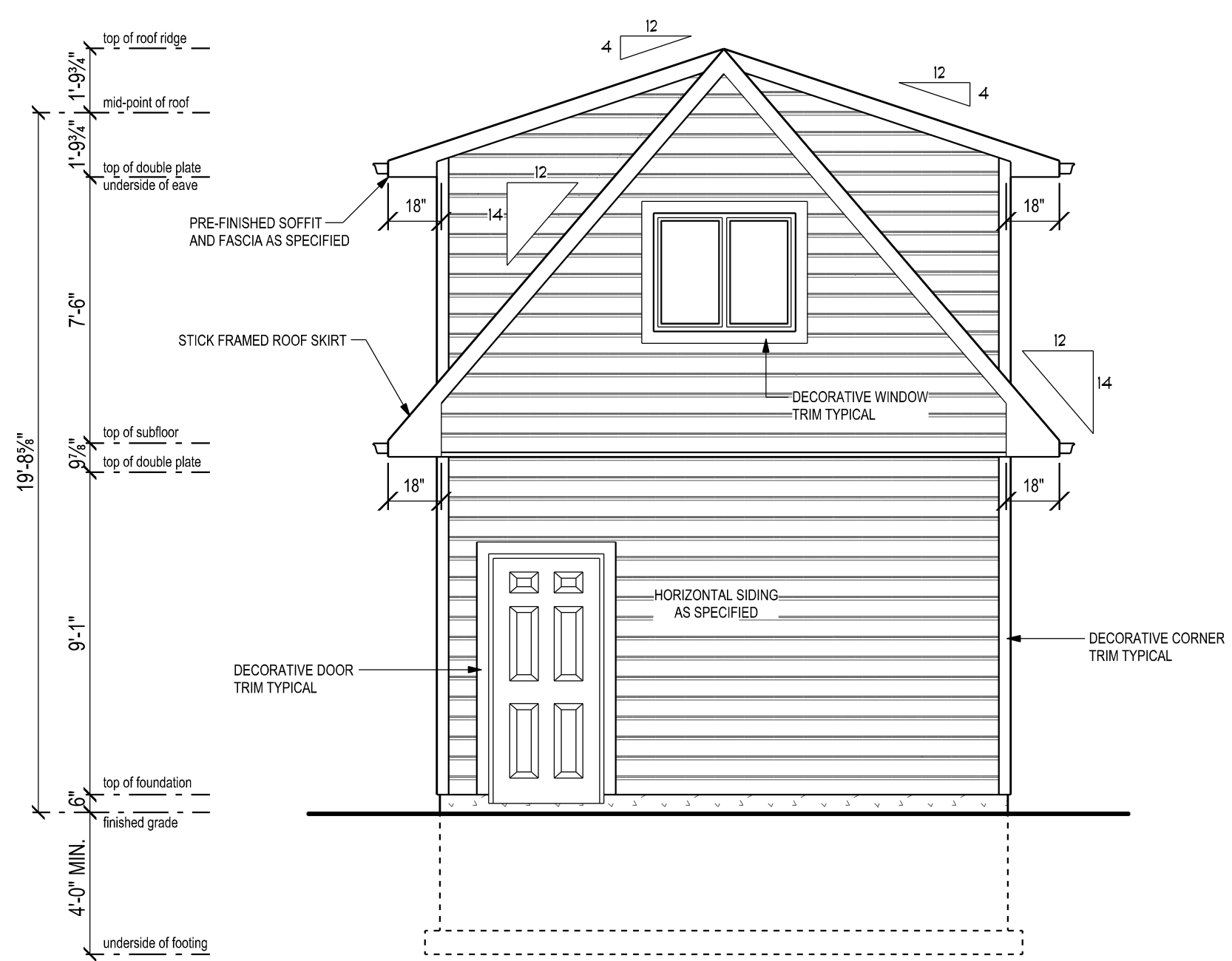
MURRAY NORRIS  
BCIN# 22544

SHEET NUMBER

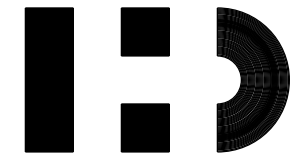
# A6

6 OF 9

NOTE:  
VENTILATE ATTIC SPACE TO 1/300TH  
OF INSULATED AREA W/ COLOUR  
MATCHING ROOF VENTS



## REAR ELEVATION



# HOMES BY design

RR#4 MOUNT FOREST, ON  
BCIN# : 30493  
phone : (519) 323-4060  
fax : (519) 323-3052

CUSTOMER:  
**VICTOR KREFT**

PROJECT TYPE:  
**CUSTOM GARAGE**

LOCATION:  
**85465 MCDONALD LANE,  
ASHFIELD-COLBORNE-  
WAWANOSH, ON**

CONTRACTOR:  
**ELLIOTT CONSTRUCTION**

DRAWING:  
**RIGHT ELEVATION**

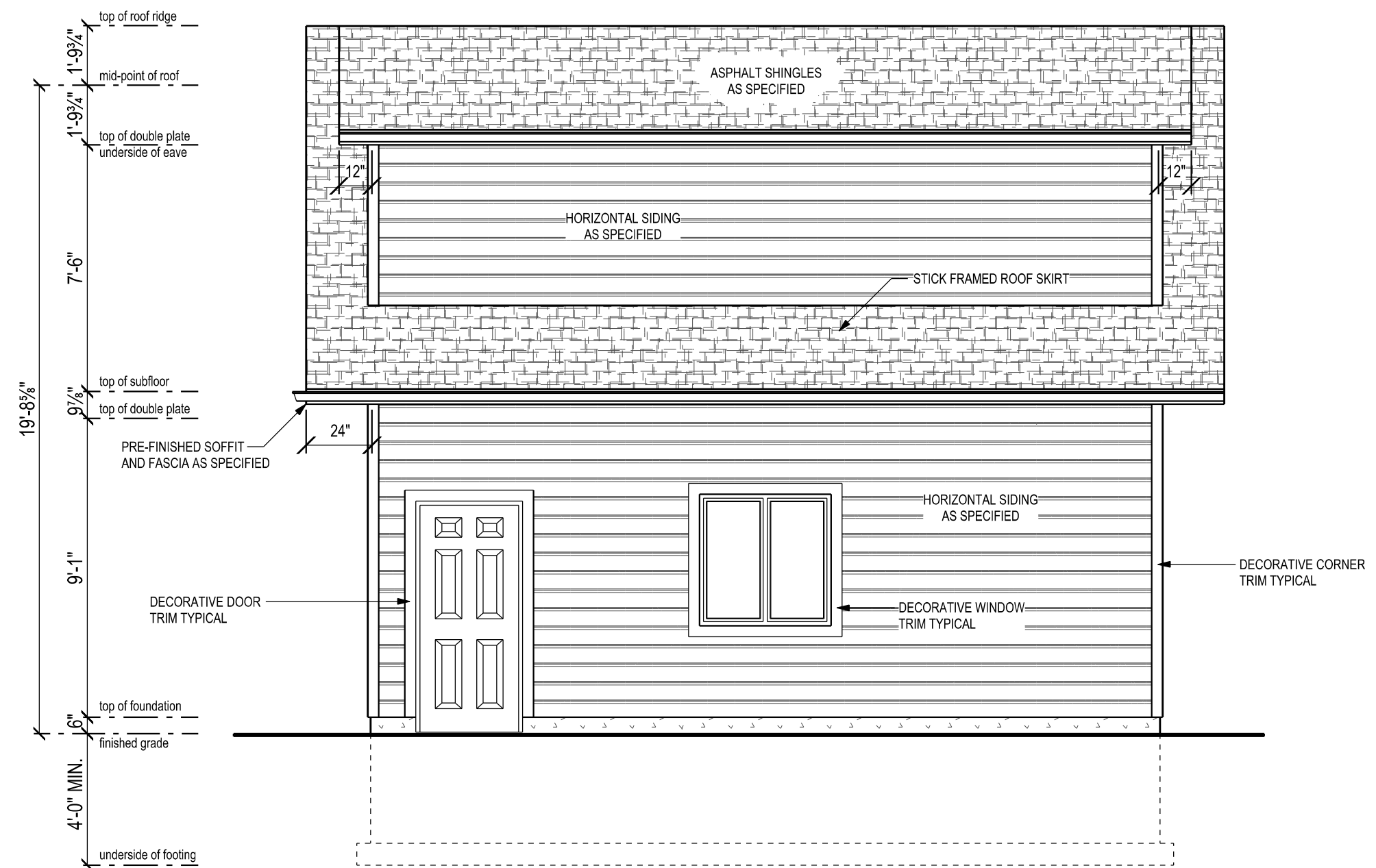
SCALE:  
**1/4" = 1'-0"**

DATE:  
**APRIL 23, 2020**

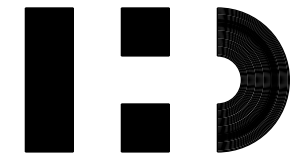
DRAWN BY:  
**MURRAY NORRIS  
BCIN# 22544**

SHEET NUMBER  
**A7**

NOTE:  
VENTILATE ATTIC SPACE TO 1/300TH  
OF INSULATED AREA W/ COLOUR  
MATCHING ROOF VENTS



## RIGHT ELEVATION



**HOMES BY design**

RR#4 MOUNT FOREST, ON  
 BCIN# : 30493  
 phone : (519) 323-4060  
 fax : (519) 323-3052

CUSTOMER:

VICTOR KREFT

PROJECT TYPE:

CUSTOM GARAGE

LOCATION:

85465 MCDONALD LANE,  
 ASHFIELD-COLBORNE-  
 WAWANOSH, ON

CONTRACTOR:

ELLIOTT CONSTRUCTION

DRAWING:

TYPICAL WALL SECTION

SCALE:

1/4" = 1'-0"

DATE:

APRIL 23, 2020

DRAWN BY:

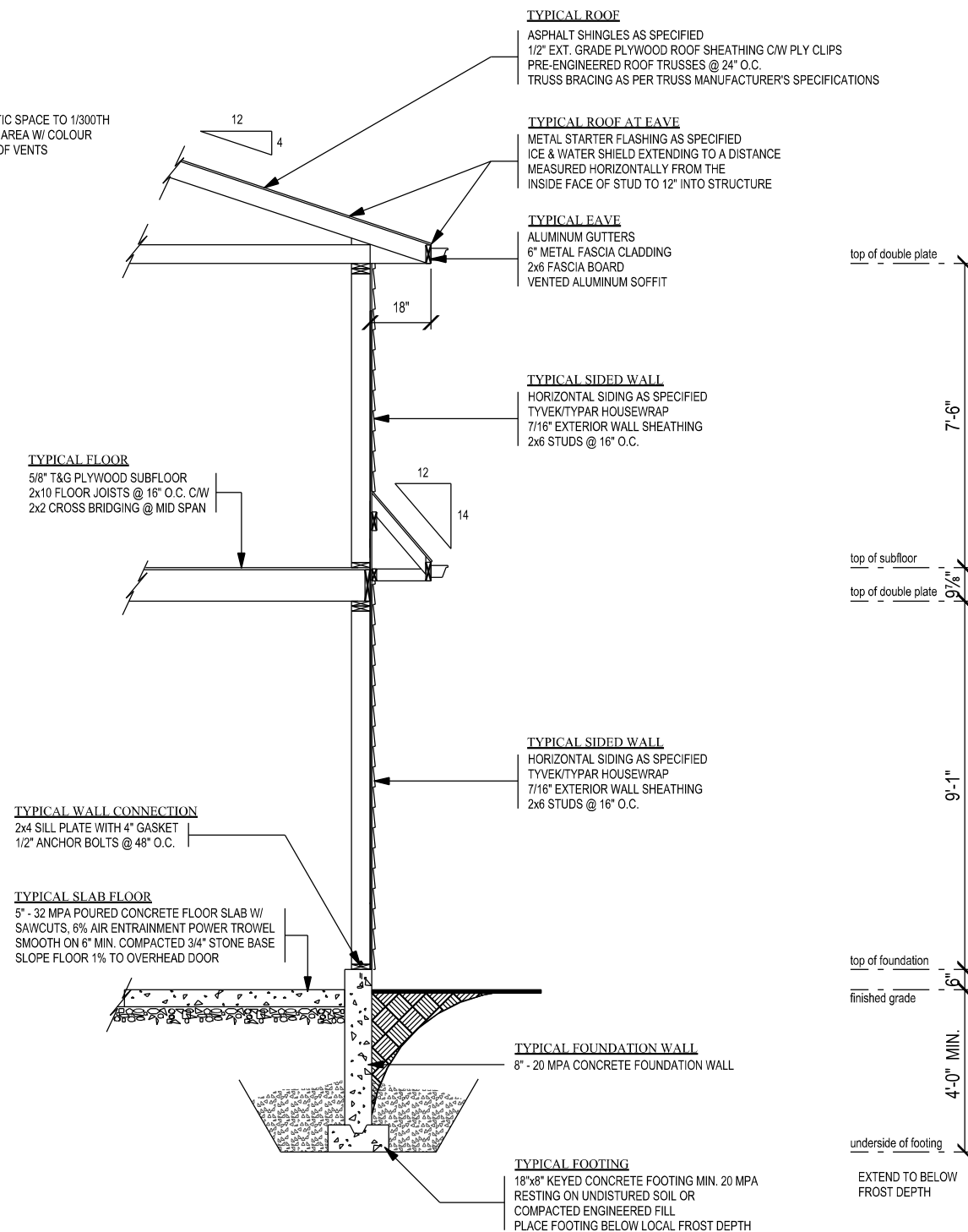
MURRAY NORRIS  
 BCIN# 22544

SHEET NUMBER

**A8**

8 OF 9

NOTE:  
 VENTILATE ATTIC SPACE TO 1/300TH  
 OF INSULATED AREA W/ COLOUR  
 MATCHING ROOF VENTS



**TYPICAL WALL SECTION**

THIS DETAIL IS TO BE REGARDED AS GENERAL IN NATURE.  
 REVIEW THE FLOOR PLANS FOR LOCALIZED SPECIFICATIONS  
 WHICH MAY DIFFER FROM THOSE LISTED HERE.





**HOMES BY design**

RR#4 MOUNT FOREST, ON  
BCIN# : 30493  
phone : (519) 323-4060  
fax : (519) 323-3052

CUSTOMER:

VICTOR KREFT

PROJECT TYPE:

CUSTOM GARAGE

LOCATION:

85465 MCDONALD LANE,  
ASHFIELD-COLBORNE-  
WAWANOSH, ON

CONTRACTOR:

ELLIOTT CONSTRUCTION

DRAWING:

ROOF PLAN

SCALE:

1/4" = 1'-0"

DATE:

APRIL 23, 2020

DRAWN BY:

MURRAY NORRIS  
BCIN# 22544

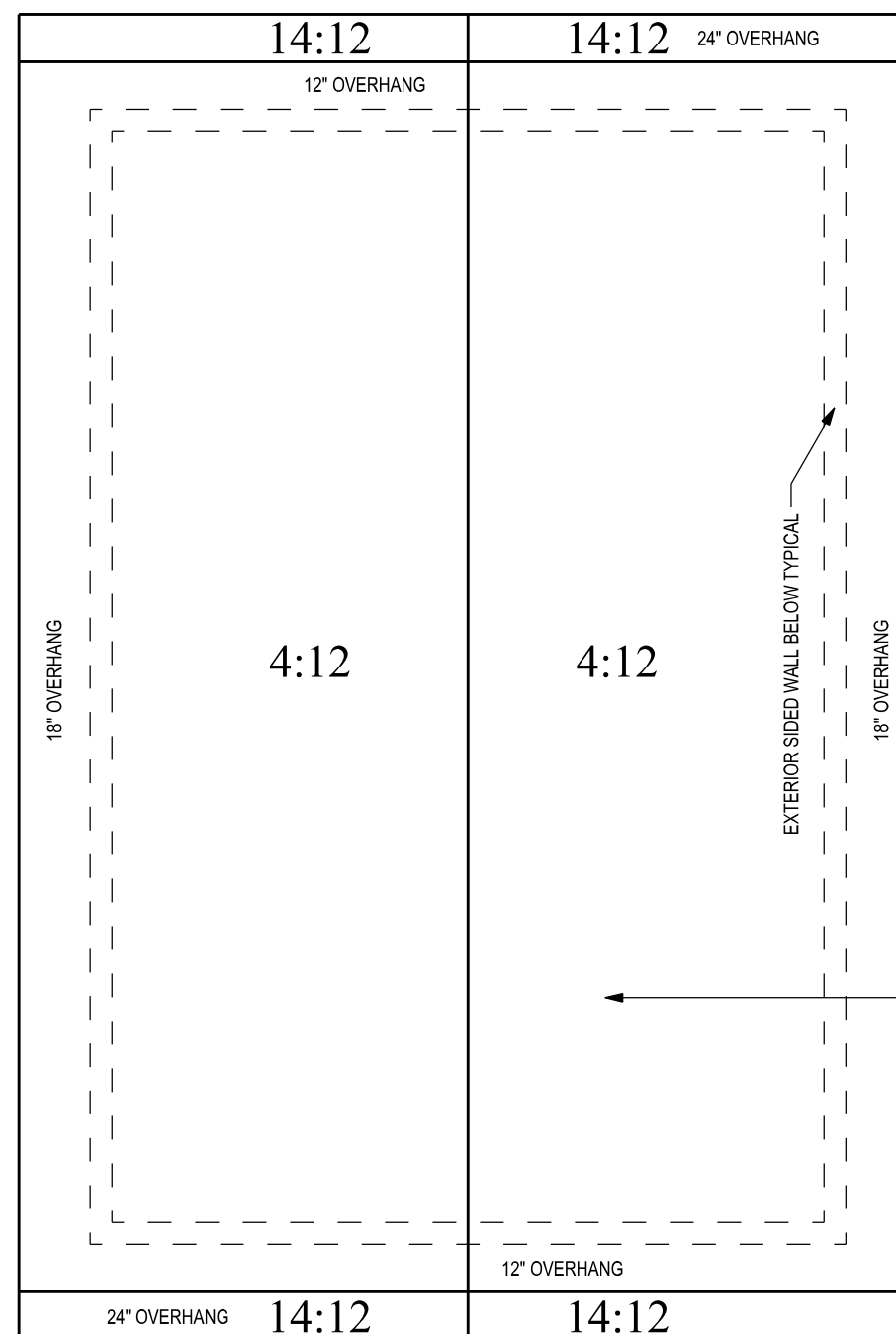
SHEET NUMBER

**A9**

9

OF

9



TYPICAL TRUSS ROOF

ASPHALT SHINGLES AS SPECIFIED  
1/2" PLYWOOD ROOF SHEATHING C/W PLY CLIPS  
PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.

14:12 SKIRT  
ROOF BELOW

NOTE:

VENTILATE ATTIC SPACE TO 1/300TH  
OF INSULATED AREA W/ COLOUR  
MATCHING ROOF VENTS

**ROOF PLAN**

TYPICAL OVERHANGS - 18" AT EAVES AND GABLES.  
(MEASURED FROM OUTSIDE EDGE OF EXTERIOR STUD WALL)



## PLANNING & DEVELOPMENT

57 Napier Street, Goderich, Ontario N7A 1W2 CANADA

Phone: 519.524.8394 Ext. 3 Fax: 519.524.5677

Toll Free: 1.888.524.8394 Ext. 3

www.huroncounty.ca

5.1 (B)

To: Township of Ashfield-Colborne-Wawanosh, Mayor, and Members of Council  
From: Celina Whaling-Rae, Planner  
Date: May 27, 2020

**Re: Minor Variance Application MV05-20**  
Concession 8 WD, Part Lot 5, Colborne, Township of Ashfield-Colborne-Wawanosh,  
known municipally as 82133 Council Line

**Owner/Applicant:** Township of Ashfield-Colborne-Wawanosh

This report is submitted to Ashfield-Colborne-Wawanosh (ACW) Council for the public meeting on June 2, 2020.

### RECOMMENDATION

It is recommended that the requested variance in application MV05/20 be approved, subject to the following conditions:

1. That the structure be located within the footprint contained on the site plan that accompanied the application.
2. That the structure be constructed as shown in the elevation drawing that accompanied the application.
3. That the variances' approval be valid for a period of 18 months from the date of the Committee's decision.

### PURPOSE

This application was submitted in preparation for the proposed renovation and expansion of the Township office. The office is currently a legal non-conforming use, as it does not meet the applicable minimum side yard setback of 7.5 metres. Section 3.24.5 of the Zoning By-law does not allow for the extension or enlargement of a legal non-conforming use without an approved amendment to the by-law. As such, a variance from Section 25.3 (Community Facility Zone Provisions) is necessary to permit a 2 metre setback for the proposed expansion. In the case of a corner lot, the shorter lot line that abuts a street is considered the front lot line, while the longer lot line that abuts a street is the exterior side lot line. The interior side lot line from which the reduced setback is required is the property's west lot line.

### REVIEW

The Township property is designated Agriculture, and is zoned CF (Community Facility) (Zone Map 12). Section 8.4.4.9 of the ACW Official Plan requires development to be compatible with surrounding uses. Section 45(1) of the *Planning Act* provides the following four tests of a minor variance:

- Is the variance minor?
- Is the variance considered appropriate planning for the subject site?
- Does the development conform with the ACW Zoning By-law?
- Does the development conform with the ACW Official Plan?

The variance can be considered minor in that the setback to the west lot line is not changing from what is already established. The adjacent agricultural use to the west will not be negatively

impacted by the office’s expansion. The variance can be considered appropriate planning for the subject site. The renovation proposal makes good use of the property’s available building envelope and will allow for the improved function of the Township office. Community facilities and related infrastructure are permitted within the Agriculture designation. A government office is a permitted use within the Community Facility Zone. The proposal conforms with the ACW Official Plan and Zoning By-law

**COMMENTS**

	Not Received	No Concerns	Concerns	See Conditions / Comment
Neighbours	✓			
ACW Staff	✓			

**SUMMARY**

It is recommended that minor variance application ACW MV05/20 be approved with conditions requiring that the structures be located within the proposed footprint and elevations, and that the variances’ approval be valid for a period of 18 months from the date of the Committee’s decision.

Please note that this report is prepared without the benefit of input from the public, as may be obtained through the public meeting. Council should carefully consider any comments and/or concerns expressed at the public meeting prior to make their decision on this application.

Sincerely,

Celina Whaling-Rae  
Planner

**Effect of Public and Agency Comments on Decision of Council to the Planning application  
(Pursuant to Sections 17, 22, 34, 35, 45, 51 and 53 of the Planning Act, RSO, 1990, as amended)**

	A. Effect of Public Comments on Decision of Council	B. Effect of Agency Comments on Decision of Council (e.g. Planning, Public Works, Health Unit)
<b>1. Council agrees with effects of input as contained in the planning report</b>	Council concurs with the planning report regarding the effect of public and agency comments on the decision.	
<b>2. No comments received</b>	No public comments were received on this application so there was no effect on the decision.	No agency comments were received on this application so there was no effect on the decision.
<b>3. Supportive comments received</b>	Public comments were received in support of the application, the effect of which resulted in a decision to approve the application.	Agency comments were received in support of the application, the effect of which resulted in a decision to approve the application.
<b>4. Concerns raised were addressed through conditions to approval or changes to mapping or text amendment</b>	Public comments were received on the issue(s) of _____. The comments were address through (conditions to approval/changes to the mapping or text of the amendment).	Comments were received from agencies on the issues of _____. The comments were addressed through (conditions to approval/changes to the mapping or text of the amendment).
<b>5. Concerns raised did not influence the decision</b>	Public comments were received on the issue(s) of _____. Comments were thoroughly considered but the effect did not influence the decision of Council to (approve/deny) the application.	Comments were received from agencies identifying the issue(s) of _____. Comments were thoroughly considered but the effect did not influence the decision of Council to (approve/deny) the application.
<b>6. Concerns raised did influence the decision</b>	Public comments were received on the issue(s) of _____, the effect of which influenced the decision of Council to (approve/deny) the application.	Agency comments were received on the issue(s) of _____, the effect of which influenced the decision of Council to (approve/deny) the application.
<b>7. Comments received in support and opposition to the application</b>	Options from above 1A/3A/4A/5A/6A	Options from above 1B/3B/4B/5B/6B
<b>8. Other</b>	Additional wording deemed appropriate by Council	Additional wording deemed appropriate by Council



Township of Ashfield-Colborne-Wawanosh  
82133 Council Line, RR5  
Goderich, ON N7A 3Y2  
[www.acwtownship.ca](http://www.acwtownship.ca)  
519-524-4669

May 13, 2020  
**FILE: ACW MV05-20 ACW**

## Notice of Public Meeting

### For Proposed Minor Variances to Zoning By-law 32-2008

Planning Act, R.S.O. 1990, cP. 13., S. 45 (5)

A change is proposed in your neighbourhood. A Minor Variance Application has been received that, if approved, would allow an addition to an existing office building with a side yard setback of 2 metres.

**You are invited to participate in an online Public Meeting on Tuesday, June 2<sup>nd</sup>, 2020 at 9:00am.**

During this time, the Township of Ashfield-Colborne-Wawanosh Committee of Adjustment will be considering the change.



Owner/Applicant: Township of Ashfield-Colborne-Wawanosh  
Location of Property: CON 8 WD PT LOT 5, Colborne (82133 Council Line)

## The Proposed Change

The purpose of this application is to seek relief from Section 25.3 of Zoning By-law to allow for the enlargement and expansion of the Township Office as a legal non-conforming use. The By-law stipulates that the minimum interior side yard setback for structures within the Community Facility zone is 7.5 metres. A setback of 2 metres is being requested to allow for the enlargement and expansion of the Township office as a legal non-conforming use. The west lot line is that to which the reduced setback is requested.

The subject property is designated Agriculture in the Ashfield-Colborne-Wawanosh Official Plan and is zoned CF (Community Facility) in the Ashfield-Colborne-Wawanosh Zoning By-law (Zone Map 12).

## Learn More

Further information regarding this application can be found at <http://www.acwtownship.ca/property-development/planning-applications/>. Questions may be directed to the Planner Celina Whaling-Rae at [cwhalingrae@huroncounty.ca](mailto:cwhalingrae@huroncounty.ca) or by phoning 519-524-8394 extension 3. Once the municipal office re-opens, information about the application can also be obtained in-person between the hours of 8:30am and 4:00pm.

## Have Your Say

Comments and opinions submitted on this proposal, including the originator's name and address, become part of the public record, and may be viewed by the general public and may be published in a planning report and Council agenda.

1. You can submit comments, objections or concerns by mail (address above) or email to [dclerk@acwtownship.ca](mailto:dclerk@acwtownship.ca)
2. You can speak during the online public meeting. \*Individuals are strongly encouraged to submit their comments prior to the meeting for consideration.

## How to Access the Public Meeting

As a result of the COVID-19 Pandemic, the Township of Ashfield-Colborne-Wawanosh has closed the municipal office to the public. The Public Meeting will be held in electronic format.

You are entitled to attend this public meeting electronically to express your views about this application, or you may be represented by counsel for that purpose.

For information on how to participate in the Public Meeting, please visit the municipal website at <http://www.acwtownship.ca/council/council-agendas-4/>. Details on participating in the electronic meeting will be provided when the agenda is published at the end of the business day on the Friday before the meeting. If you have any questions regarding how to participate in the meeting, please phone the municipal office at 519-524-4669.

## Stay Informed

If you would like to be notified of the decision, you must make a written request to the Committee of Adjustment at the municipal address above, or through email to [dclerk@acwtownship.ca](mailto:dclerk@acwtownship.ca). This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing if the decision of this application is appealed.

## Your Rights

The applicant, the Minister of Municipal Affairs & Housing, or any other person or public body who has an interest in this matter may, within 20 days of the making of the decision, appeal to the Tribunal against the decision of the committee. This may be done by filing with the Secretary-Treasurer of the Committee a Notice of Appeal setting out the objection to the decision and the reasons in support of the objection. This must be accompanied by payment to the Secretary-Treasurer of the fee charged by the Tribunal under the Local Planning Appeal Tribunal Act, 2017 as payable on an appeal from a Committee of Adjustment to the Tribunal, in accordance with Section 45(12) of the Planning Act. For more information, please visit the Local Planning Appeal Tribunal website at <https://elto.gov.on.ca/tribunals/lpat>.

For office use only

File # ACW MV05-20 ACW

Received May 13, 2020

Considered Complete May 13, 2020

# APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

*Planning Act, RSO 1990, O. Reg. 200/96, Amended by O.Reg. 432/96 & 508/98*

Minor Variance	2018 Fee <i>Effective Jan 1/18</i>	2019 Fee <i>Effective Jan 1/19</i>	2020 Fee <i>Effective Jan 1/20</i>	2021 Fee <i>Effective Jan 1/21</i>
- 1 or 2 variances	\$1,456	\$1,484	\$1,514	\$1,544
- 3 or more variances	\$1,872	\$1,909	\$1,947	\$1,986

**Each application must be accompanied by the application fee in the form of a cheque payable to the local municipality.**

The undersigned hereby applies to the Committee of Adjustment for the \_\_\_\_\_  
\_\_\_\_\_ (name of municipality) under section 45 of the  
**Planning Act 1990** for relief, as described in this application, from By-law No \_\_\_\_\_ (as amended).

- Name of Owner \_\_\_\_\_  
Telephone : \_\_\_\_\_ Email: \_\_\_\_\_  
Address \_\_\_\_\_
- Name of Agent (if applicable) \_\_\_\_\_  
Telephone : \_\_\_\_\_ Email: \_\_\_\_\_  
Address \_\_\_\_\_

*Note: Unless otherwise requested, all communications will be sent to the agent, if any.*

- Provide legal description and address of property.  
Ward: \_\_\_\_\_  
Concession: \_\_\_\_\_ Lot: \_\_\_\_\_ Registered Plan #: \_\_\_\_\_  
911 Address and Road Name: \_\_\_\_\_

**NOTE: If property legal description and address approved, all numbers following will need to be changed.**

4. Names and addresses of any mortgages, holders of charges or other encumbrances:
5. Nature and extent of relief applied for:
6. Why is it not possible to comply with the provisions of the by-law?
7. Legal description of subject land (registered plan number and lot number or other legal description and, where applicable, street and street number):

Ward: \_\_\_\_\_

Lot(s): \_\_\_\_\_

Concession: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Registered Plan No.: \_\_\_\_\_

911 Number & Road Name: \_\_\_\_\_

8. Is any of the subject land in Wellhead Protection Area C?    Yes        No        Unknown  
If **Yes**, please obtain a Restricted Land Use Permit from the Risk Management Official. If **Unknown**, please consult with your Municipal Planner and obtain a Restricted Land Use Permit if necessary.

9. Indicate if access to the property is by Provincial Highway, municipal road maintained all year or seasonally, another public road or right of way: \_\_\_\_\_

10. Will this proposal result in adding or changing the location of any driveways/accesses/entrances?

Yes                      No

11. Dimensions of land affected:

Frontage: \_\_\_\_\_

Area: \_\_\_\_\_

Depth: \_\_\_\_\_

Width of street: \_\_\_\_\_

12. Particulars of all buildings and structures on or proposed for the subject land (Specify ground floor area, number of storeys, width, length, height, etc.):

Existing:

Proposed:

13. Location of all buildings and structures on or proposed for the subject land (Specify distance from side, rear and front lot lines):

Existing:

Proposed:

14. Date of acquisition of subject land:
15. Date of construction of all buildings and structures on subject land:
16. Existing uses of the subject property:
17. Existing uses of abutting properties:
18. Length of time the existing uses of the subject property have continued:
19. Municipal services available (check appropriate space or spaces):

Water – Connected

Publicly Owned

Privately Owned

Communal Well

Lake

Sewage Disposal – Connected

Sanitary Sewers

Septic System

Privy

Storm Drainage – Connected

Storm Sewers

Ditches

Swales

Other



20. Is this property assessed to a Municipal Drain?

Yes                      No

If yes, what is the name of the drain? \_\_\_\_\_

21. Is there a tile drain loan for this property or has an application for a tile drain loan been submitted to the Municipality within the last 90 days?

Yes                      No

22. Present Official Plan provisions applying to the land:

23. Present Zoning By-law provisions applying to the land:

24. Has the owner previously applied for relief in respect of the subject property?

Yes                      No

If the answer is yes, describe briefly:

25. Applicants are strongly encouraged to contact the County and speak/meet with the Planner to the Municipality before submitting an application for information.

Date of Applicant's consultation meeting with County Planner: \_\_\_\_\_

Has the Planner advised the Applicant that this application needs to be reviewed by the Huron County Stewardship Coordinator for comments on Natural Heritage matters.

Yes    (submit a fee of \$212.00 made payable to the Treasurer, County of Huron)                      No

26. Is the subject property the subject of a current application for consent or plan of subdivision under the **Planning Act**? If yes, please indicate file number:

\_\_\_\_\_

Yes                      No

**Notes:**

a) *It is required that . . . . . copies of this application be filed with the Secretary-Treasurer of the Committee of Adjustment, together with the plan referred to in Note 2, accommodated by a*

*fee of \$ \_\_\_\_\_ in cash or by cheque made payable to the Treasurer of the*

\_\_\_\_\_  
*(name of municipality)*

- b) *Each copy of this application must be accompanied by a plan showing the dimensions of the subject land and all abutting land; the location, size and type of all existing and proposed buildings and structures on the subject land indicating the distance of the buildings from the lot lines; approximate location of all natural and artificial features on the subject and adjacent lands; location, width and name of roads; location of easements; and use of adjacent lands. The Committee of Adjustment may require that the plan be signed by an Ontario Land Surveyor.*
- c) *Please be advised the responsibility for filing a complete application rests solely with the owner/applicant. Anything not requested or applied for in this application and subsequently found to be necessary (which may require another application(s) and fee(s)) are the sole responsibility of the owner/applicant. The County/Municipality will address only the application as applied for, and any items that are not included in the application are not the responsibility of the County/Municipality.*

*All studies required to support this application shall be at the expense of the applicant and included at the time of submission as a complete application. Where the County/Municipality incurs costs for the peer review of any consultants' reports or fees for legal opinions, the County/Municipality will be reimbursed such costs by the applicant.*

*In the event of third-party appeals to applications approved by the County/Municipality, the applicant may be responsible for some or all of the legal and other costs incurred by the County/Municipality, at the discretion of the County/Municipality.*

**OWNER'S AUTHORIZATION**

*(This must be completed by the OWNER if the **owner is not filing the application.**)*

I/We \_\_\_\_\_, being the registered owner(s) of the subject lands,  
hereby

authorize \_\_\_\_\_ to prepare and submit an application of Minor  
Variance.

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Date

**APPLICANT'S DECLARATION**

*(This must be completed by the **Person Filing the Application** for the proposed development site.)*

I, \_\_\_\_\_ of the \_\_\_\_\_  
(Name of Applicant) (Name of Town, Township, etc.)

In the Region/County/District \_\_\_\_\_ solemnly declares that all of the statements  
contained in this application and supporting documentation are true and complete, and I make this solemn  
declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made  
under oath, and by virtue of the "Canada Evidence Act."

DECLARED before me at:

Region/County/District \_\_\_\_\_

In the Municipality of \_\_\_\_\_

\_\_\_\_\_  
Signature

This \_\_\_\_\_ day of \_\_\_\_\_,  
(Day) (Month) (Year)

\_\_\_\_\_  
Please **Print** name of Applicant

\_\_\_\_\_  
Commissioner of Oaths  
Mark Becker, CAO/Clerk-Treasurer  
Township of Ashfield-Colborne-Wawanosh

**OWNER/APPLICANT'S CONSENT DECLARATION**

In accordance with the provisions of the Planning Act, it is the policy of the County Planning Department to provide the public access to all development applications and supporting documentation.

In submitting this development application and supporting documentation, I, \_\_\_\_\_, the owner/the authorized applicant, hereby acknowledge the above-noted policy and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

I hereby authorize the County of Huron staff, Municipal staff and council members of the decision making authority to access to the subject site for purposes of evaluation of the subject application.

May 13, 2020

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

**OFFICE USE ONLY**

CERTIFICATION

I, \_\_\_\_\_

For the \_\_\_\_\_

Of \_\_\_\_\_ in the \_\_\_\_\_ of \_\_\_\_\_

Certify that the above application is a true copy.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_

Signature \_\_\_\_\_

**COMPLETE THIS FORM TO DETERMINE IF  
SEPTIC COMMENTS ARE REQUIRED  
ON YOUR PLANNING APPLICATION**

For certain planning applications, comments are required from local municipal staff to assist the municipality in its decision on your application. This sheet will determine if comments are required from local staff, and if so, the appropriate fee\* must be submitted with your application and paid to the local municipality (\*based on the local municipality's Fee Schedule – consult with your Planner to determine).

Name of Applicant: \_\_\_\_\_

Name of Owner (if different from the applicant): \_\_\_\_\_

Location of Property (Lot, Concession or Registered Plan, and Municipality):  
\_\_\_\_\_

Type of Planning Application(s) submitted with this form:

- |                         |                                 |
|-------------------------|---------------------------------|
| Consent (severance)     | Minor Variance                  |
| Zoning By-Law Amendment | Plan of Subdivision/Condominium |
| Official Plan Amendment |                                 |

Please answer Section A **OR** Section B, depending on the type of servicing available. In the following question, "property" means the subject property or, in the case of a severance, each of the resulting lots.

Section A – Where **SANITARY SEWERS** are available.

Is the property within 183 metres (600 feet) of an abattoir (slaughter house)?	Yes	No
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Section B – Where **SEPTIC SYSTEMS** are required.

- |  |     |    |
|--|-----|----|
| 1. The application is for the creation of a new lot for which the primary use will be a new dwelling (other than a new dwelling on a farm).          | Yes | No |
| 2. Is the property less than .4 hectares (1 acre) in area?   | Yes | No |
| 3. Does the property have less than .2 hectares (1/2 acre) of "useable land" for a septic tank and tile bed? See definition of "useable land" below. | Yes | No |
| 4. I am uncertain of the location of the existing septic tank and tile bed on the property.  | Yes | No |
| 5. There will be more than one dwelling unit on each lot.  | Yes | No |
| 6. An industrial or commercial use is proposed which will require a septic system.   | Yes | No |
| 7. Is the property with 183 metres (600 feet) of an abattoir (slaughter house)?  | Yes | No |
| 8. The application is for a new Plan of Subdivision/Condominium  | Yes | No |

Proceed to **Section C**

“Useable Land” means an area of land with suitable original soil for the installation of a Class 4 subsurface sewage disposal system, free of any buildings, structures swimming pools, etc. and such land is or will be used solely for a septic tank and tie bed and any future replacement of the tile bed, and which area is at least 3 metres (10 feet from any property line, at least 15 metres (15 feet) from a top-of-bank of a watercourse or lake, not located in a flood plain, not located in an environmentally sensitive area, and does not contain field tile or other artificial drainage. (Other restrictions may apply according to legislation.)

Florence Witherspoon, Deputy Clerk

May 13, 2020

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*Name of Owner or Designated Agent*

*Signature and Date*

*To be completed by Municipal Clerk: Has the Septic Review Fee, made payable to the local municipality, been collected from the applicant?*

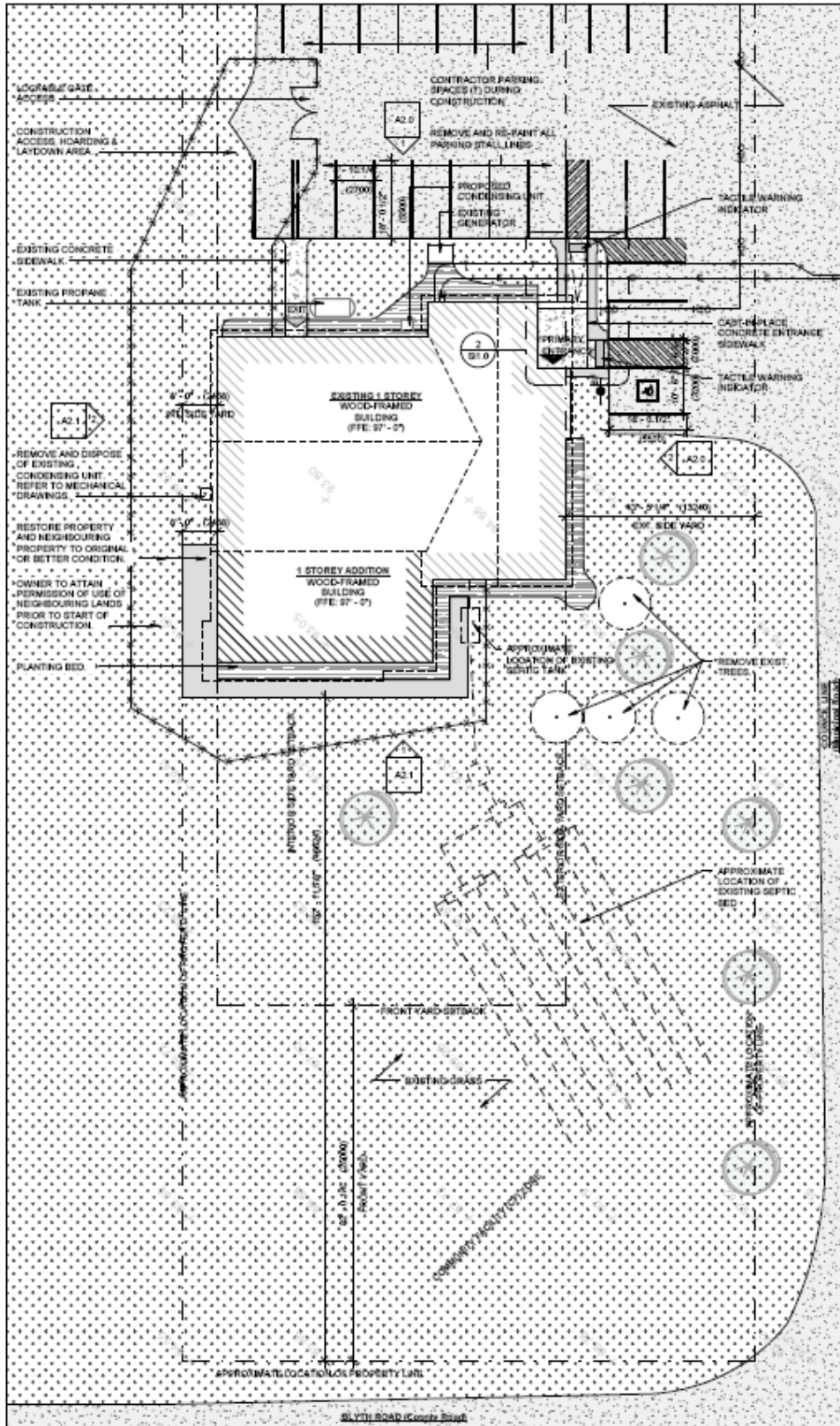
*\*Please note type of application and file # on the cheque.*

Yes      No      Amount: \$0.00

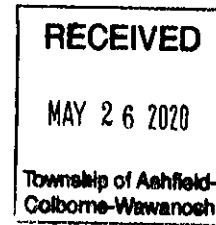
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*Name of Clerk-Treasurer*

*Signature and Date*



  
**1 SITE PLAN**  
 SCALE 1/8" = 1'-0"



May 23, 2020

ACW Township Council  
82133 Council Line, RR 5  
Goderich, Ontario N7A 3Y2

Dear Sirs:

Re: St. Helens Hall

Last fall we discussed at one of our meetings to have repairs done to the the cenotaph, stone pillar and the back foundation of the hall. No action was taken as no work could be done in the winter time. I have now received a quote from one bricklayer in the area that could do the work for us. I have enclosed this with this letter.

I do not know of any other bricklayers in the area so I have only the one quote. You may know more.

Mr. Stothers said the reason for the stone pillar deterioration was the cement name plate that is leaning against it. It directs the water onto the pillar. Before work could be done it would be necessary to move this elsewhere. He suggested putting it between some steel stakes. Perhaps the township roads department could do this work.

If the Township decides to accept this I am sure that Mr. Stothers could do this work while the hall is empty. No time line was discussed. Since this is of historical nature I am sure the Township would like to keep it in good repair.

Please let us know of your decision. We can not have a meeting to discuss this further until the hall is open again. I look forward to hearing from you.

Yours truly,

ST HELENS HALL COMMITTEE

A handwritten signature in cursive script, appearing to read "Kathryn Todd".

Kathryn Todd  
Secretary  
519-528-3717 or 37539 Mary Anne St. R2, Lucknow, ON NOG 2H0  
encl. 1



**RECEIVED**  
 MAY 26 2020  
 Township of Ashfield-  
 Colborne-Wawanosh

**STOTHERS BRICKLAYING**  
 RR6 Goderich 36974 Nile Rd  
 N7A-3Y3  
 519-529-7309

ORDER NO.	DEPT.	DATE
SOLD TO	SHIP TO	
ADDRESS	ADDRESS	

St. Helen's Hall

May 18 2020

Estimate Only

SHIPPING DATE	VIA	TERMS	TAX REG. NO.	SALESPERSON
---------------	-----	-------	--------------	-------------

work Priced St. Helen's Hall

Fix cement base under  
 Names on stone

Stone pillar re-point  
 Big stone in front of stone  
 pillar has to be moved  
 to fix one side of pillar  
 NOT PRICED

Parging on back wall  
 fixed

22 00.00  
 HST 2 86.00  
 Estimate 24 86.00

Wayne ~~Cathy~~ Todd  
 37539 MARY ANN St  
 R.R. 2 Lucknow  
 NO 62HO

556275

SIGNATURE	LIC. NO.	TOTAL
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SALES ORDER



TOWNSHIP OF  
ASHFIELD-COLBORNE-WAWANOSH

## COUNCIL REPORT

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From: Brian VanOsch,  
Public Works Superintendent  
Date: May 27, 2020  
Subject: Public Works Activity Report

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### RECOMMENDATION:

That the report be received and filed.

### INFORMATION:

1. Johnston Bros. have completed hauling resurfacing gravel to Township roads.
2. Calcium Chloride has been applied to all Township roads that had resurfacing gravel placed on them.
3. Trees from Maitland Valley Conservation Authority have been delivered to residents that ordered them.
4. Hauled drainage stone to the area for the playground equipment that is to be installed at Petrie Park.

Respectfully submitted,

A handwritten signature in black ink that reads 'Brian VanOsch'.

Brian VanOsch  
Public Works Superintendent



## **Ashfield Landfill Site – COVID-19**

**UPDATE:** The Ashfield Landfill Site will be re-opening on Monday, June 1, 2020 with amended hours of operations during this ongoing pandemic.

### **Mondays & Saturdays: 9:00 a.m. to 3:00 p.m.**

The health and safety of the public and staff is the top priority as the Landfill Site services are being restored. Residents are urged to follow all Public Health recommendations and use the Landfill Site for critical/ essential drop-offs only.

**Residents are encouraged to continue to use the curbside household waste and recycling pick-up.**

Trips to the Landfill Site should be for the urgent disposal of items/materials that cannot be managed through the curbside collection services. Waste Management will continue with their regularly scheduled curbside household waste and recycling pick-up.

As part of the re-opening process, please note the following:

- The site may be extremely busy, residents should be prepared for significant delays and longer than usual wait times – please be patient.
- The use of masks or face (mouth/nose) coverings is strongly encouraged.
- Maintain physical distancing and be expedient on site.
- Entry to the site will be limited to 3 vehicles at any given time, wait for staff signal to approach scale.
- Follow staff directions.
- Please do not socialize with other customers on site.

Further to the re-opening, please note the following changes:

- \$10.00 minimum charge per load.
- Household waste and recycling will not be accepted at the Landfill Site, please continue to use curbside pick-up for household garbage and recycling.
- In addition to Monday and Saturday hours, account holders will continue to have access to the Landfill Site on a specifically scheduled day of the week, by appointment only.

To make an appointment or to set up an account, please call 519-524-4669.

Municipal Office Phone: 519-524-4669  
Municipal Office Fax: 519-524-1951  
Municipal Office Email: [admin@acwtownship.ca](mailto:admin@acwtownship.ca)  
Municipal Website: [www.acwtownship.ca](http://www.acwtownship.ca)



## COUNCIL REPORT

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From: Mark Becker, CAO/Deputy-Clerk  
 Date: May 27, 2020  
 Subject: Ashfield Landfill Site

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### RECOMMENDATION:

We seek your direction.

### BACKGROUND:

We have provided Council with a copy of the update on the re-opening of the Ashfield Landfill Site. With this re-opening we have a few items that perhaps Council should reconsider moving forward as to how we do business in the future at the Landfill Site.

### INFORMATION:

#### Recycling Bins

We presently have large recycling bins at the Landfill Site for recycling items. The budgeted amount for the bins at the Landfill Site is \$11,500. We do provide Curbside Recycling Pickup and we encourage everyone to use this service. The removal of these bins would require residents to use the Curbside Recycling Pickup and eliminate the unnecessary traffic visits at the Landfill Site and also find cost savings.

#### Household Waste

We do provide Curbside Household Waste Pickup and we encourage everyone to use this service. As we re-open the Landfill Site, we implemented a minimum charge per load of \$10 to attempt to eliminate the unnecessary traffic visits at the Landfill Site with residents coming with one or two bags of household waste. We also indicated that we would not be accepting household waste during the re-opening. Moving forward, we would like to continue with the charge of \$10 as well as not accepting household waste and only be used for the disposal of items/materials that cannot be managed through the curbside collection services.

#### Hours of Operation

Last fall we implemented new operating hours as follows:

April to November: Saturday 9-4 and Monday 9-2  
 December to March: Saturday 9-4

As we re-open we amended the hours to Saturday and Mondays from 9-3 to avoid any confusion and attempt to avoid long line ups. Moving forward, we would like to continue with the amended hours of 9-3 for consistency, with keeping the months the same.

Interac/Debit

We want to provide options for accepting payments at the Landfill Site, so we propose to run a telephone/internet line from Glen's Hill Road into the Landfill Site to the Weigh Scale Building with the possibility of implementing interac/debit payments as well as a possible Land Line phone for residents to call the Ashfield Landfill Site directly on the days of operation.

**COMMENT:**

It is recommended that we remove the recycling bins, implement the \$10 flat fee, encourage that no household waste be accepted, amend the hours of operation, and proceed with running a telephone/internet line to the Weigh Scale Building.

**OTHERS CONSULTED:**

Glen McNeil, Mayor  
Brian Van Osch, Public Works Superintendent  
Ellen McManus, Treasurer  
Eric Miller, Landfill Site Operator

Respectfully submitted,



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Mark Becker, CAO/Deputy-Clerk



THE CORPORATION OF THE TOWNSHIP OF  
ASHFIELD-COLBORNE-WAWANOSH

**BY-LAW NUMBER 38-2020**

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BEING A BY-LAW TO CONFIRM THE PROCEEDINGS OF THE  
CORPORATION OF THE TOWNSHIP OF ASHFIELD-COLBORNE-WAWANOSH  
AT ITS MEETING HELD ON JUNE 2, 2020.

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**WHEREAS** by the Municipal Act, 2001 the powers of a municipal corporation are to be exercised by its Council;

**AND WHEREAS** by the Municipal Act, 2001, the powers of every Council are to be exercised by its by-laws;

**AND WHEREAS** it is deemed expedient that the proceedings of the Council of The Corporation of the Township of Ashfield-Colborne-Wawanosh at its meeting be confirmed and adopted by by-law;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE  
TOWNSHIP OF ASHFIELD-COLBORNE-WAWANOSH ENACTS AS FOLLOWS:**

1. The action of the Council of The Corporation of the Township of Ashfield-Colborne-Wawanosh at its meeting held on the 2<sup>nd</sup> day of June in respect to each motion and resolution passed, and other action taken by the Council of The Corporation of the Township of Ashfield-Colborne-Wawanosh at its meeting, is hereby adopted and confirmed as if all such proceedings were expressly embodied in this by-law.
2. The Mayor and Clerk are authorized and directed to do all the things necessary to give effect to the action of the Council of The Corporation of the Township of Ashfield-Colborne-Wawanosh referred to in the preceding section hereof.
3. The Mayor and the Clerk are authorized and directed to execute all documents necessary in that behalf and to affix thereto the seal of The Corporation of the Township of Ashfield-Colborne-Wawanosh.

**Read a FIRST and SECOND time this 2<sup>nd</sup> day of June, 2020.**

**Read a THIRD TIME and FINALLY PASSED this 2<sup>nd</sup> day of June, 2020.**

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**Mayor, Glen McNeil**

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**CAO/Deputy-Clerk, Mark Becker**